

DEVELOPMENT APPLICATION

PROJECT NAME: DUPLEX

CLIENT NAME: MR JIM PETRATOS

PROJECT ADDRESS: 286 WILLIAM STREET
KINGSGROVE NSW 2208
LOT 68 DP 22360

PROJECT INFORMATION:

LGA	CANTERBURY BANKSTOWN COUNCIL	FLOOR AREA CALCULATION	LANDSCAPE CALCULATION	SETBACK REQUIREMENTS
LEP	CANTERBURY LEP 2012	UNIT A	MINIMUM LANDSCAPED AREA	PRIMARY ROAD SETBACK
DCP	CANTERBURY DCP 2012	PROPOSED GROUND FLOOR	= 74.94m²	= > 6.0m COMPLIES
		PROPOSED FIRST FLOOR	= 69.44m²	SIDE SETBACK
LAND ZONING	R3 - MEDIUM DENSITY RESIDENTIAL	TOTAL PROPOSED FLOOR AREA	= 144.38m²	GROUND FLOOR
				= 1.20m COMPLIES
				FIRST FLOOR
				= 1.20m COMPLIES
				REAR SETBACK
				GROUND FLOOR
				= > 6.0m COMPLIES
				FIRST FLOOR
				= > 6.0m COMPLIES
				HEIGHT RESTRICTION
				= 8.5m COMPLIES
SITE AREA	= 575.40m²	UNIT B	TOTAL COMBINED LANDSCAPED AREA	
		PROPOSED GROUND FLOOR	= 74.94m²	
		PROPOSED FIRST FLOOR	= 69.44m²	
TORRENS TITLE SUBDIVISION		TOTAL PROPOSED FLOOR AREA	= 144.38m²	
LOT A	= 287.70m²			
LOT B	= 287.70m²			
		PRIVATE OPEN SPACE		
		UNIT A	= 103m² COMPLIES	
		UNIT B	= 104m² COMPLIES	
		MAXIMUM PERMISSIBLE FLOOR AREA	= 0.5:1 or 287.70m²	
		TOTAL PROPOSED FLOOR AREA	= 0.501:1 or 288.76m²	

DRAWING REGISTER

SHEET #	SHEET NAME	REVISION #	REVISION DATE	Drawn By	CHECKER
A0000	COVER SHEET & PROJECT CALCULATIONS	C	13.07.22	SP	SP
A0001	SITE CONTEXT / ANALYSIS	C	13.07.22	SP	SP
A0002	SITE SURVEY	C	13.07.22	SP	SP
A0003	EXISTING SITE & DEMOLITION PLAN	C	13.07.22	SP	SP
A0004	PROPOSED SITE PLAN	C	13.07.22	SP	SP
A0005	PROPOSED CUT & FILL, WASTE & SITE MANAGEMENT PLAN	C	13.07.22	SP	SP
A0006	PROPOSED LANDSCAPE PLAN	C	13.07.22	SP	SP
A0007	CONCEPT TORRENS TITLE SUBDIVISION PLAN	C	13.07.22	SP	.SP
A1101	PROPOSED PLAN - GROUND FLOOR	C	13.07.22	SP	SP
A1102	PROPOSED PLAN - FIRST FLOOR	C	13.07.22	SP	SP
A1103	PROPOSED PLAN - ROOF	C	13.07.22	SP	SP
A1104	SHADOW DIAGRAMS - WINTER SOLSTICE 21 JUNE	C	13.07.22	SP	SP
A2001	ELEVATIONS 01	C	13.07.22	SP	SP
A2002	ELEVATIONS 02	C	13.07.22	SP	SP
A3001	SECTION A-A & DRIVEWAY SECTION	C	13.07.22	SP	SP
A4001	POOL PLAN	C	13.07.22	SP	SP
A7001	EXTERNAL FINISHES SCHEDULE	C	13.07.22	SP	SP
A7002	PERSPECTIVES 01	C	13.07.22	SP	SP
A7003	PERSPECTIVES 02	C	13.07.22	SP	SP
A9001	DOOR & WINDOW SCHEDULE	C	13.07.22	SP	SP
Grand total: 20					

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Rev	Description	Date
1	CONCEPT ISSUE - FACADE	28.04.22
2	FOR CONSULTANT FEE PROPOSAL	1.05.22
3	ISSUED TO BASIX CONSULTANT	24.05.22
A	DA ISSUE - TO CLIENT	12.06.22
B	DA ISSUE	18.06.22
4	COORDINATION - STORMWATER	29.06.22
C	DA ISSUE	13.07.22

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201001020304050100mm

DUPLEX

CLIENT: MR JIM PETRATOS

286 WILLIAM STREET
KINGSGROVE NSW 2208
LOT 68 DP 22360

COVER SHEET & PROJECT CALCULATIONS

JOB # 020322

DATE: 13.07.22

DA ISSUE

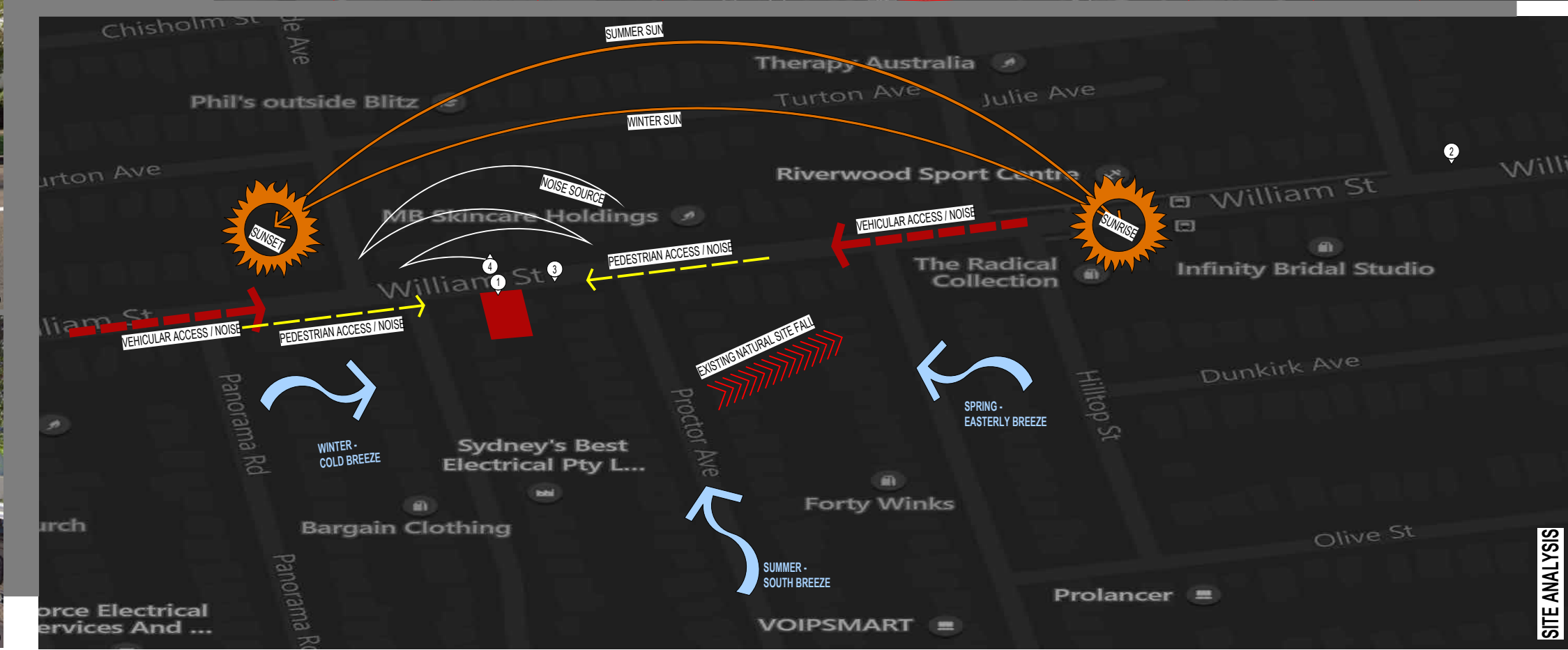
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DWG NO. A0000



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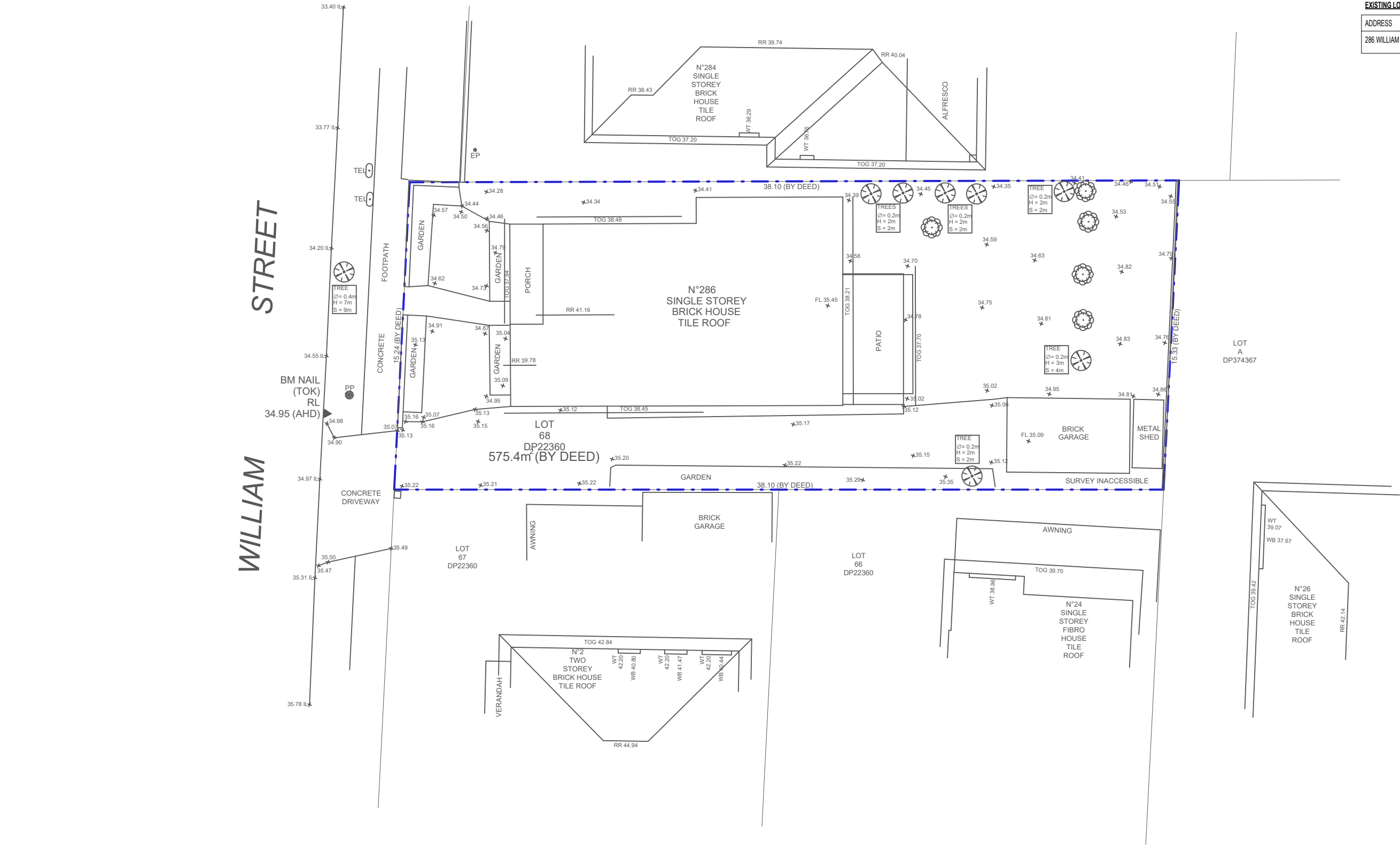
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LOT 68 DP 22360

JOB # 020322
DATE: 13.07.22
DA ISSUE

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SCALE: 1 : 100 @A3

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ISSUE: C



EXISTING LOT SIZE:		
ADDRESS	PROPERTY DESCRIPTION	LOT SIZE
286 WILLIAM STREET	LOT 68 IN DP 22360	575.40m²

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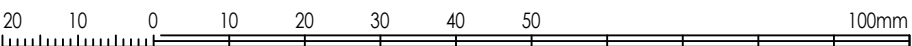
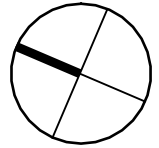
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DUPLEX

SITE SURVEY

CLIENT: MR JIM PETRATOS

JOB # 020322

DATE: 13.07.22

CC ISSUE

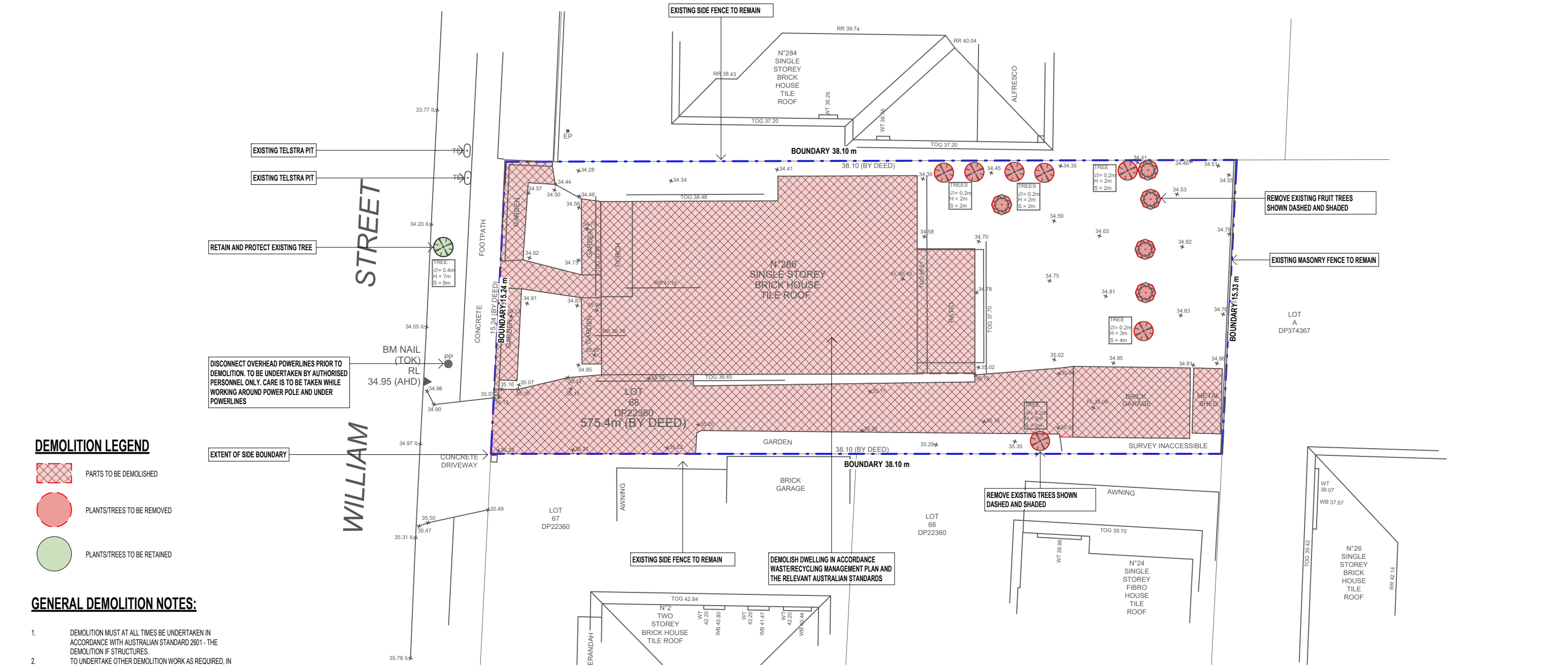
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DEMOLITION LEGEND

- PARTS TO BE DEMOLISHED
- PLANTS/TREES TO BE REMOVED
- PLANTS/TREES TO BE RETAINED

GENERAL DEMOLITION NOTES:

- DEMOLITION MUST AT ALL TIMES BE UNDERTAKEN IN ACCORDANCE WITH AUSTRALIAN STANDARD 2601 - THE DEMOLITION OF STRUCTURES.
- TO UNDERTAKE OTHER DEMOLITION WORK AS REQUIRED, IN ORDER TO PRODUCE THE FINAL BUILDING AS ILLUSTRATED IN THESE DRAWINGS.
- DURING DEMOLITION, ENSURE THAT ALL NECESSARY HOARDINGS, SCREENS, PROPPING AND PROCEDURES ARE CARRIED OUT AS REQUIRED UNDER THE WH&S ACT AND TO PROVIDE STRUCTURAL ADEQUACY.
- WHERE JUNCTIONS/ ELEMENTS BETWEEN DEMOLISHED AND REMAINING ITEMS ARE TO REMAIN, THESE AREAS ARE TO BE MADE GOOD.
- WHERE PRACTICAL, RETAIN REMOVED MATERIALS FOR RE-USE, PARTICULARLY ITEMS LISTED AS SUCH ON THE DRAWINGS. STORE ITEMS FOR RE-USE AWAY FROM THE ELEMENTS, OR AS APPROPRIATE.
- IF ASBESTOS BASED MATERIALS ARE ENCOUNTERED, SPECIALIST REMOVERS MUST BE ENGAGED AND ALL OTHER PERSONS REMOVED FROM SITE AND ALL NEIGHBOURING PROPERTIES TO BE INFORMED

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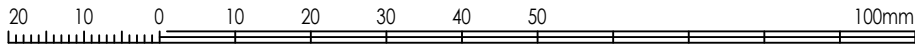
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EXISTING SITE & DEMOLITION PLAN

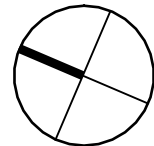
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DATE: 13.07.22

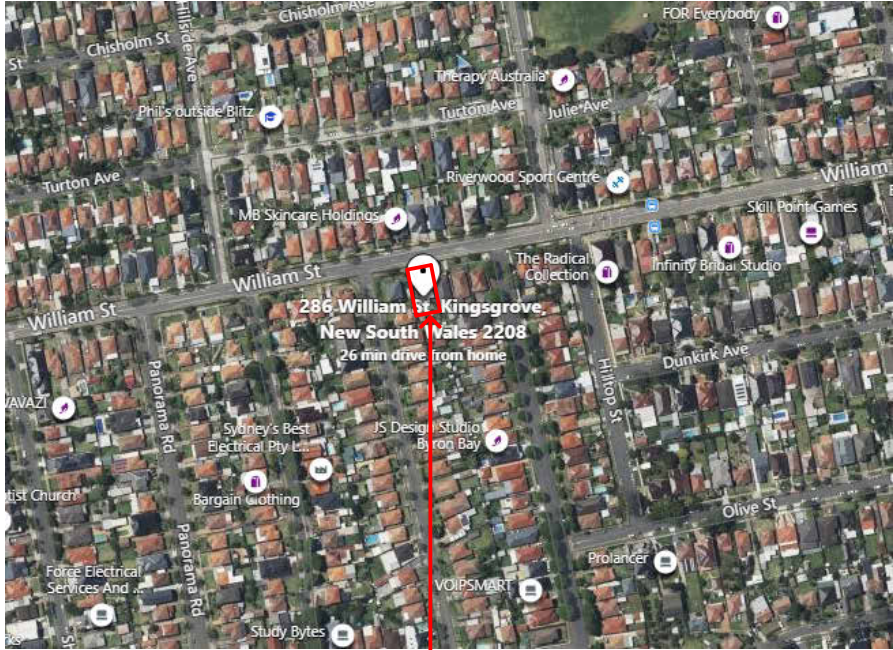
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A0003

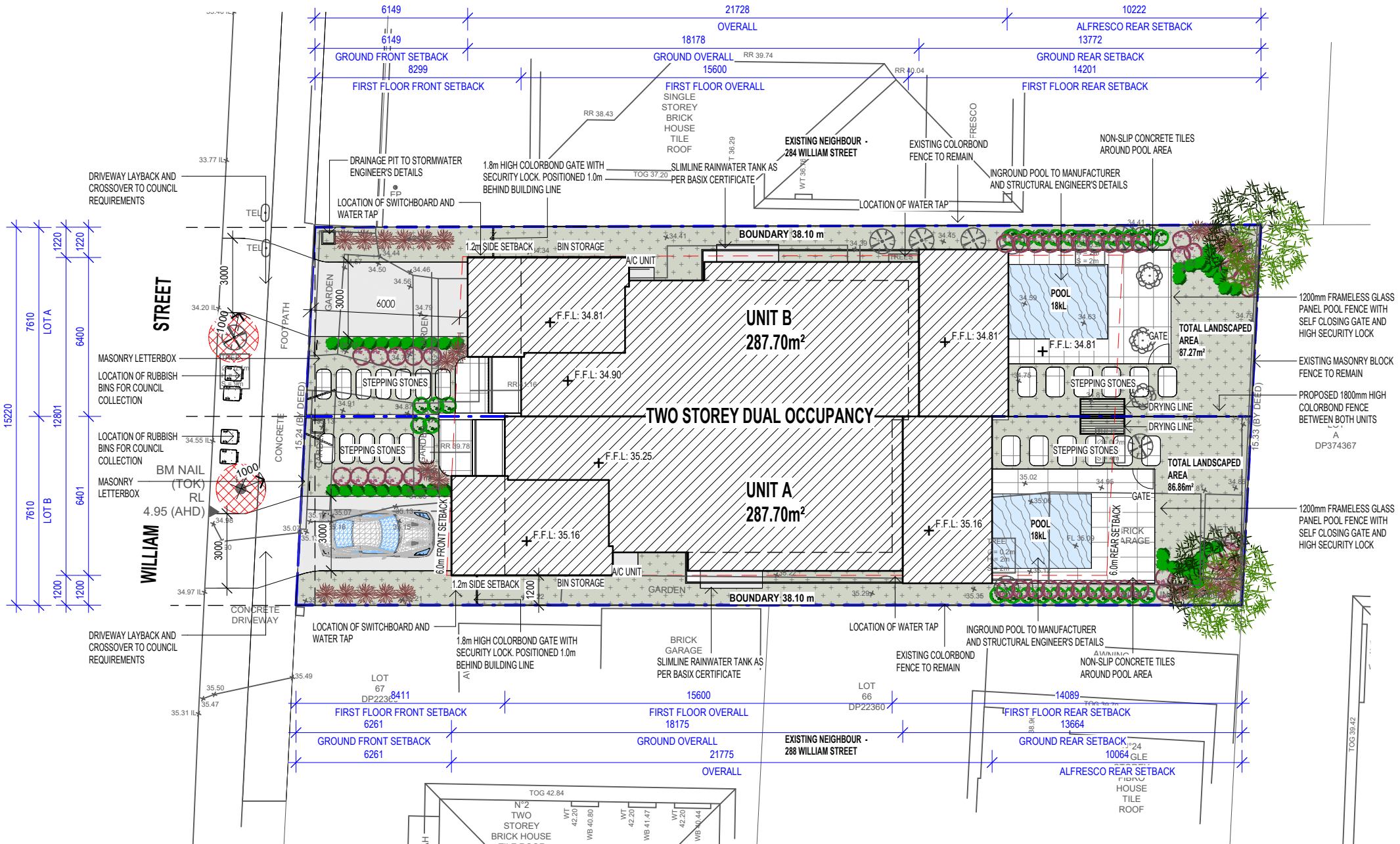




SUBJECT SITE

LOCATION PLAN

1 : 100



PROJECT INFORMATION:

LGA	CANTERBURY BANKSTOWN COUNCIL	FLOOR AREA CALCULATION	
LEP	CANTERBURY LEP 2012	UNIT A	
DCP	CANTERBURY DCP 2012	PROPOSED GROUND FLOOR	= 74.94m²
		PROPOSED FIRST FLOOR	= 69.44m²
LAND ZONING	R3 - MEDIUM DENSITY RESIDENTIAL	TOTAL PROPOSED FLOOR AREA	= 144.38m²
SITE AREA	= 575.40m²	UNIT B	
		PROPOSED GROUND FLOOR	= 74.94m²
		PROPOSED FIRST FLOOR	= 69.44m²
		TOTAL PROPOSED FLOOR AREA	= 144.38m²
TORRENS TITLE SUBDIVISION		MAXIMUM PERMISSIBLE FLOOR AREA	= 0.5:1 or 287.70m²
LOT A	= 287.70m²	TOTAL PROPOSED FLOOR AREA	= 0.501:1 or 288.76m²
LOT B	= 287.70m²		

LANDSCAPE CALCULATION	SETBACK REQUIREMENTS
MINIMUM LANDSCAPED AREA	= N/A
PROPOSED LANDSCAPED AREA	
UNIT A	= 86.86m²
UNIT B	= 87.27m²
TOTAL COMBINED LANDSCAPED AREA	= 174.13m²
PRIVATE OPEN SPACE	
UNIT A	= 103m² COMPLIES
UNIT B	= 104m² COMPLIES

SETBACK REQUIREMENTS	THermal COMFORT REQUIREMENTS
PRIMARY ROAD SETBACK	= > 6.0m COMPLIES
SIDE SETBACK	
GROUND FLOOR	= 1.20m COMPLIES
FIRST FLOOR	= 1.20m COMPLIES
REAR SETBACK	
GROUND FLOOR	= > 6.0m COMPLIES
FIRST FLOOR	= > 6.0m COMPLIES
HEIGHT RESTRICTION	= 8.5m COMPLIES

BASIX COMMITMENTS:

BASIX CERTIFICATE # 1303259M

WATER REQUIREMENTS

ALL SHOWERHEADS - 4 STAR (>4.5 BUT <=6L/MIN)
ALL TOILET FLUSHING SYSTEMS - 4 STARS
ALL KITCHEN TAPS - 4 STARS
POOL COVER - YES
RAINWATER TANK
CAPACITY - MINIMUM 3,000 LITRES
RUN-OFF COLLECTION - 150m² OF ROOF AREA
CONNECT TO ALL GARDEN TAPS, TOILETS, LAUNDRY AND POOL (TOP-UP)

THERMAL COMFORT REQUIREMENTS

CONCRETE SLAB ON GROUND - N/A
TIMBER FIRST FLOOR OVER GARAGE - R2.5 INSULATION
EXTERNAL WALL - BRICK VENEER - R2.5 INSULATION + 1 BREATHABLE WRAP
INTERNAL PARTY WALL - CAVITY BRICK - N/A
INTERNAL WALL BETWEEN GARAGE & DWELLING - R2.5 INSULATION
ROOF - COLORBOND - R5.0 INSULATION PLUS 1 SINGLE SIDED FOIL
GLAZING - ALUMINIUM FRAME - SINGLE CLEAR
U-VALUE: 5.40
SHGC: 0.58

ENERGY REQUIREMENTS

HOT WATER SYSTEM - GAS INSTANTANEOUS - 5 STAR
BATHROOM & KITCHEN - INDIVIDUAL FAN DUCTED TO FACADE OR ROOF
MANUAL ON / OFF SWITCH
LAUNDRY - NATURAL VENTILATION ONLY
AIR CONDITIONING - 3 PHASE
MINIMUM RATING: EER 3.5 - 4.0 - ZONED
POOL HEATING SYSTEM - SOLAR ONLY
TIMBER - YES
KITCHEN APPLIANCE - HAS COOKTOP WITH ELECTRIC OVEN
FRIDGE - TO BE WELL VENTILATED
CLOTHES DRYING LINE - PRIVATE OUTDOOR LINE
PHOTOVOLTAIC SYSTEM - 1.0 kW REQUIRED MINIMUM

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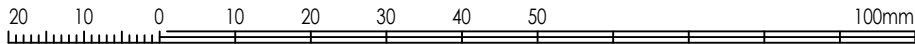


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DUPLEX

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LOT 68 DP 22360

PROPOSED SITE PLAN

JOB # 020322
DATE: 13.07.22

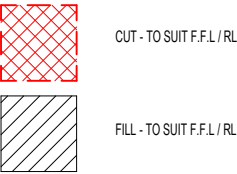
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SCALE: As indicated

ISSUE: C

DWG NO.

A0004

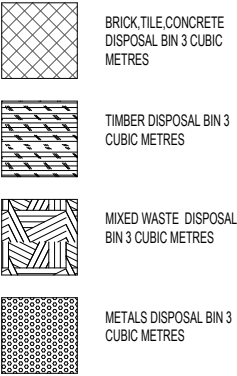
CUT & FILL LEGEND:



SITE NOTE:
BEFORE STARTING WORK ON SITE, BUILDER TO ENSURE TO CHECK/ VERIFY THE FOLLOWING:

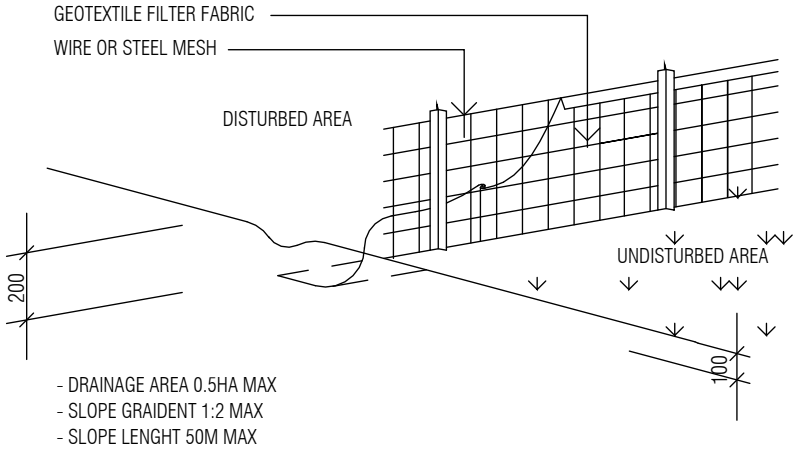
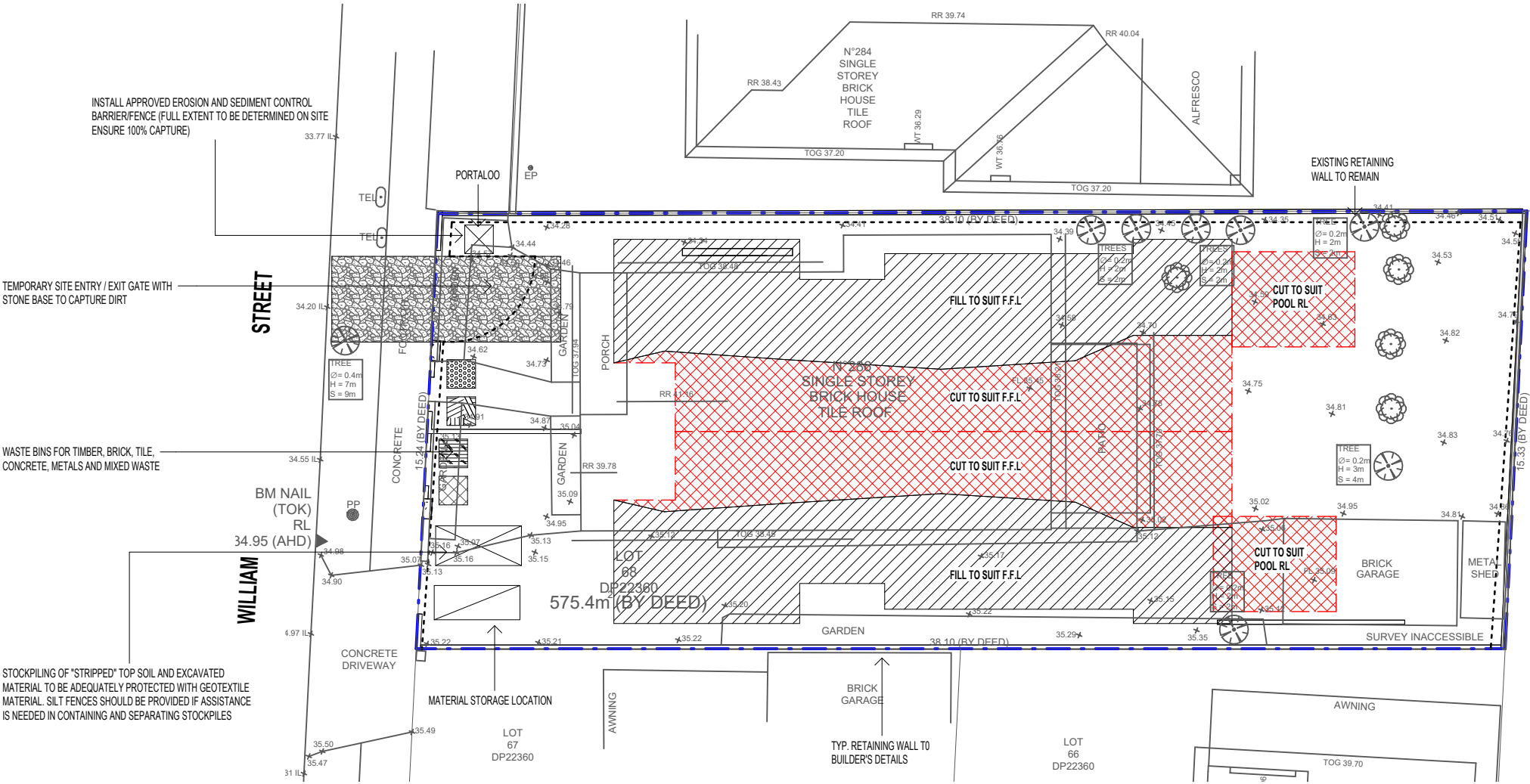
- SERVICE LOCATIONS.
- SEWER CONNECTION POSITIONS
- DRIVEWAY ALIGNMENT & LEVELS
- INDICATION DOWNPIPE LOCATION

WASTE LEGEND:



SEDIMENT RUN-OFF CONTROL DURING EARTHWORKS:

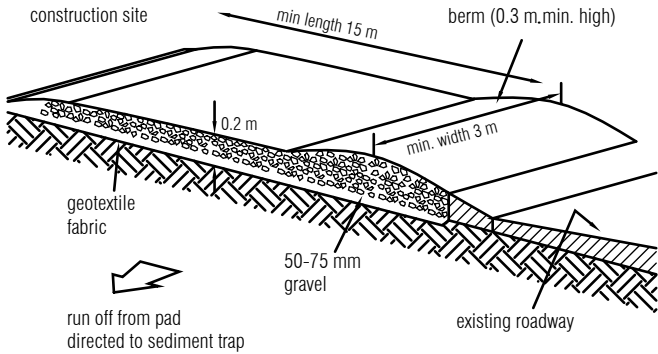
THE CONTRACTOR SHALL INSTALL AND MAINTAIN SOIL EROSION AND SEDIMENT CONTROL MEASURES GENERALLY IN ACCORDANCE WITH GUIDELINES OF THE NSW SOIL CONSERVATION SERVICE AND AS NECESSARY TO PREVENT RUN OFF FROM THE SITE OF ANY SEDIMENT RESULTING FROM HIS WORKS ALL MEASURES ARE TO COMPLY WITH THE REQUIREMENTS OF THE APPROVING COUNCIL TRUCKS AND VEHICLES LEAVING THE SITE ARE NOT TO SPREAD SPOIL ONTO THE ROADWAY OR ALLOW SPOIL TO ENTER THE STORMWATER SYSTEM. ALL DISTURBED GROUND AREAS AND STOCKPILES OF EXCAVATED OR IMPORTED MATERIAL IS TO BE STABILISED WITHIN 48 HOURS. DUST IS TO BE SUPPRESSED BY WATERING.



- DRAINAGE AREA 0.5HA MAX
- SLOPE GRAIDENT 1:2 MAX
- SLOPE LENGHT 50M MAX

SILT FENCE DETAIL

1:1



TEMPORARY CONSTRUCTION EXIT

1:1

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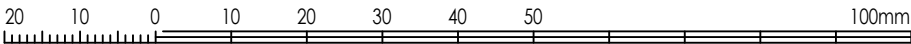
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PROPOSED CUT & FILL, WASTE & SITE MANAGEMENT PLAN

JOB # 020322
DATE: 13.07.22
DA ISSUE
DRAWN: SP
CHECKED: SP
SCALE: As indicated

ISSUE: C

DWG NO.

A0005

GENERAL NOTES:

WORK HEALTH AND SAFETY
THE CONTRACTOR SHALL FAMILIARISE THEMSELVES WITH, AND WORK IN ACCORDANCE TO, THE WORK HEALTH AND SAFETY ACT 2011 AND THE WORK HEALTH AND SAFETY REGULATION 2011. THE CONTRACTOR SHALL ENSURE THAT ALL EMPLOYEES CARRYING OUT CONSTRUCTION WORK UNDERTAKE SPECIFIC (GENERAL, WORK ACTIVITY AND SITE SPECIFIC) WORK HEALTH AND SAFETY INDUCTION TRAINING RELATED TO THE WORKS THEY ARE PERFORMING.

STANDARDS
ALL PLANTING WORKS SHALL COMPLY WITH THE CURRENT EDITION OF RELEVANT AUSTRALIAN STANDARDS INCLUDING:
· 1997: AS4454 COMPOSTS, SOIL CONDITIONERS AND MULCH
· 1998: AS4419 SOIL FOR LANDSCAPING AND GARDEN USE
GRADING
THE LANDSCAPE CONTRACTOR SHALL GRADE SURFACE AREAS TO AN ACCEPTABLE SLOPE BATTER (MAX 1 IN 3) AND AWAY FROM BUILT AREAS WHERE POSSIBLE.

PLANT QUALITY
THE CONTRACTOR SHALL REMAIN RESPONSIBLE FOR THE PLANTS TO CORRECT NURSERY CONDITONS (INCLUDING THE HARDENING OFF PERIOD) TO TIME OF PLANTING. PROVIDE PLANTS WITH THE FOLLOWING CHARACTERISTICS:
· LARGE HEALTHY ROOT SYSTEMS, WITH NO EVIDENCE OF ROOT CURL, RESTRICTION OR DAMAGE
· VIGOROUS, WELL ESTABLISHED, FREE FROM DISEASES OR INSECT PESTS, OF GOOD FORM CONSISTENT WITH SPECIES OR VARIETY
· HARDENED OFF, NOT SOFT OR FORCED, AND SUITABLE FOR PLANTING IN THE NATURAL CLIMATIC CONDITIONS PREVAILING AT THE SITE
· HAVE FOLIAGE SIZE, TEXTURE AND COLOUR CONSISTENT WITH THAT SHOWN IN HEALTHY SPECIMENS OF THE SPECIES.

· IMMEDIATELY REJECT DRIED OUT, DAMAGED, POT BOUND OR UNHEALTHY PLANT MATERIAL BEFORE PLANTING. MAKE NO SUBSTITUTIONS. SHOULD PLANT MATERIAL SPECIFIED BE UNAVAILABLE THEN THE CONTRACTOR SHALL INFORM THE LANDSCAPE ARCHITECT IN WRITING WITH AVAILABLE SUBSTITUTIONS FOR APPROVAL.

PLANT MATERIALS REQUIREMENTS
SUPPLY PLANTS IN WEED FREE CONTAINERS OF THE REQUIRED SIZE. PLANT SIZE DEFINITIONS ARE INDICATED ONLY AND ARE SUBJECT TO VARIATION IN ACCORDANCE WITH THE NATURAL GROWTH HABIT OF THE SPECIES.

REPLACEMENTS
USING PLANTS OF THE SAME TYPE, QUALITY AND SIZE, THE CONTRACTOR SHALL REPLACE ANY PLANTS WHICH ARE DAMAGED WHILST BEING TRANSPORTED TO THE SITE OR DURING THE WORKS, OR WHICH FAIL OR ARE REJECTED AT THE CONTRACTORS EXPENSE.

STORAGE
DELIVERY PLANT MATERIAL TO THE SITE ON A DAY-TO-DAY BASIS AND PLANT IMMEDIATELY AFTER DELIVERY. IF THIS IS NOT POSSIBLE, KEEP THE PLANTS IN A GOOD CONDITION ON THE SITE, ADEQUATELY PROTECTED FROM FROST, WIND, SUN AND VERMIN BY APPROPRIATE STORAGE METHODS. DO NOT STORE PLANTS ON SITE WITHOUT APPROVAL FROM THE LANDSCAPE ARCHITECT.

WATERING
WATER IMMEDIATELY AFTER PLANTING. RAISE THE SOIL MOISTURE WITHIN THE ROOTBALL TO FIELD CAPACITY. ENSURE ROOTBALL IS THOROUGHLY WETTED THROUGH TO ENTIRE SOIL PROFILE. CONTINUE WATERING AT A RATE AND FREQUENCY REQUIRED TO AVOID WATER STRESS.

PLANTINGS
ANY RUBBLE REMAINING WITHIN THE LANDSCAPE AREAS AT THE TIME OF PLANTING SHALL BE REMOVED BY HAND. EXCAVATE THE PLANTING HOLE TO DEPTHS AS PER THE DETAILS. LOOSEN THE COMPACTED SIDES OF THE HOLE TO PREVENT CONFINEMENT OF ROOT GROWTH.

PLACING
REMOVE THE PLANT FROM THE CONTAINER WITH MINIMUM DISTURBANCE TO THE ROOT BALL. ENSURE THAT THE ROOT BALL IS MOIST AND PLACE IT IN ITS FINAL POSITION, IN THE CENTRES OF THE HOLE AND PLUMB, AND WITH THE TOP SOIL LEVEL OF THE PLANT ROOT BALL LEVEL WITH THE FINISHED SURFACE IF THE SURROUNDING SOIL. TREES TO BE PLANTED WHERE NOTED, SHRUBS TO BE PLANTED AT 1000MM CENTRES WHERE NOTED, GROUND COVERS AT 600MM.

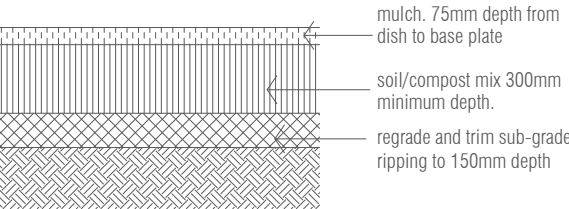
INSECT AND DISEASE CONTROL
IMMEDIATELY GIVE NOTICE OF EVIDENCE OF INSECT ATTACK OR DISEASE AMONGST PLANT MATERIAL. WHERE REQUIRED, SPRAY WITH INSECTICIDE, FUNGICIDE OR BOTH WITH THE MANUFACTURER'S RECOMMENDATION. SUBMIT PROPOSAL AND OBTAIN APPROVAL FROM LANDSCAPE ARCHITECT BEFORE STARTING THIS WORK.

MULCH
MULCH SHALL BE NATURAL COLOUR FOREST FINES. MULCH SHALL BE PROVIDED TO EACH PLANTING BED TO A DEPTH OF 90MM AND PLACED TO PREVENT CONTACT WITH THE TREE TRUNK/PLANT STEM. MULCH SHALL FINISH FLUSH WITH ADJACENT SURFACES. MULCH SHALL BE CLEAN AND FREE OF ANY DELETERIOUS MATERIALS.

IMPORTED SOILS
IF REQUIRED, IMPORTED SOIL SHALL BE AN ORGANIC SOIL MIX WITH A SANDY LOAM TEXTURE. EXCAVATED AREAS SHALL BE PREPARED, TRIMMED AND FINISHED PRIOR TO PLACEMENT OF IMPORTED SOIL. SOIL COMPONENTS MUST REMAIN IN A THOROUGHLY BLENDED COMPOSITION AND BE KEPT MOIST DURING BACKFILLING AND LIGHT COMPACTION TO PREVENT

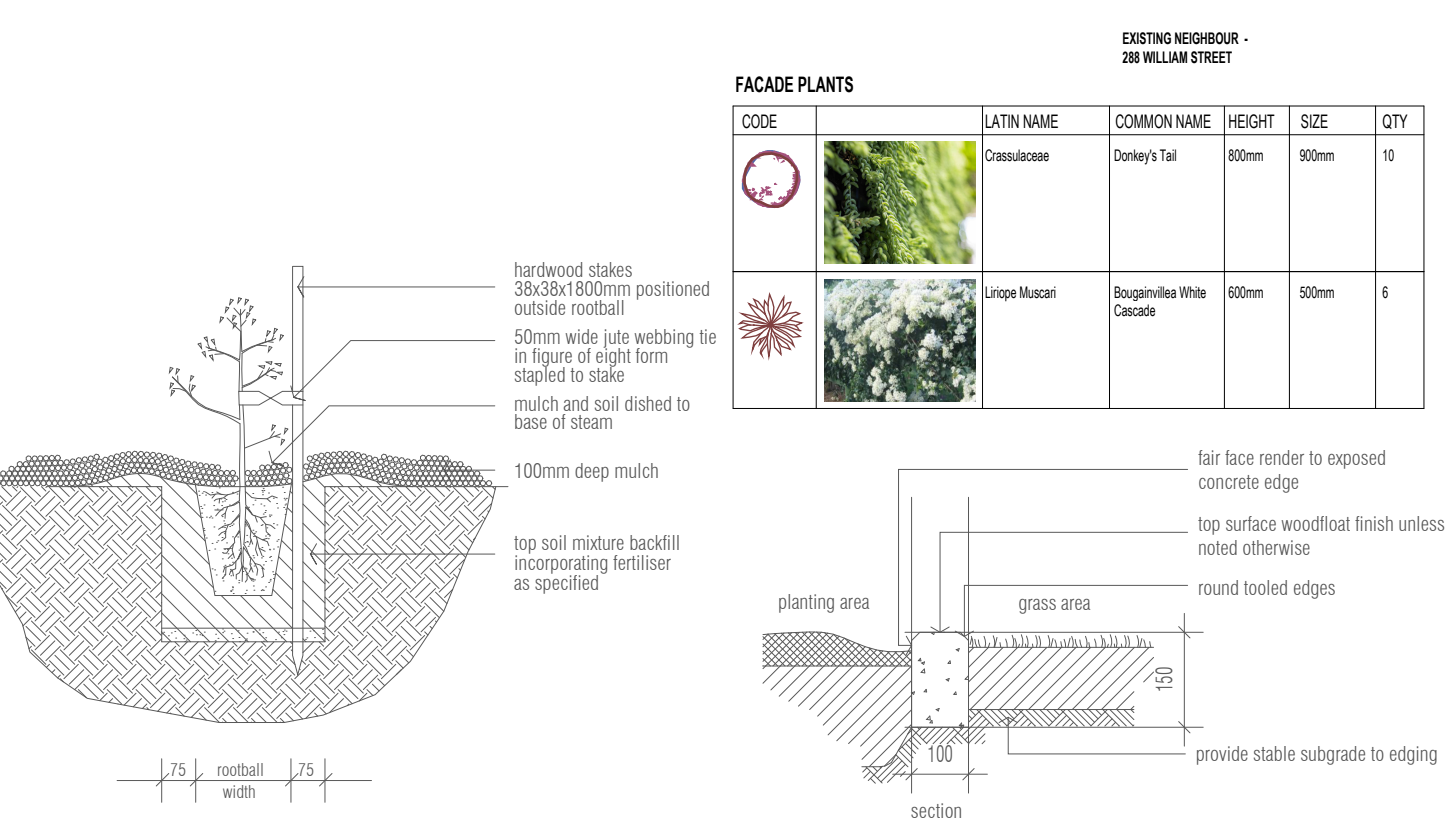
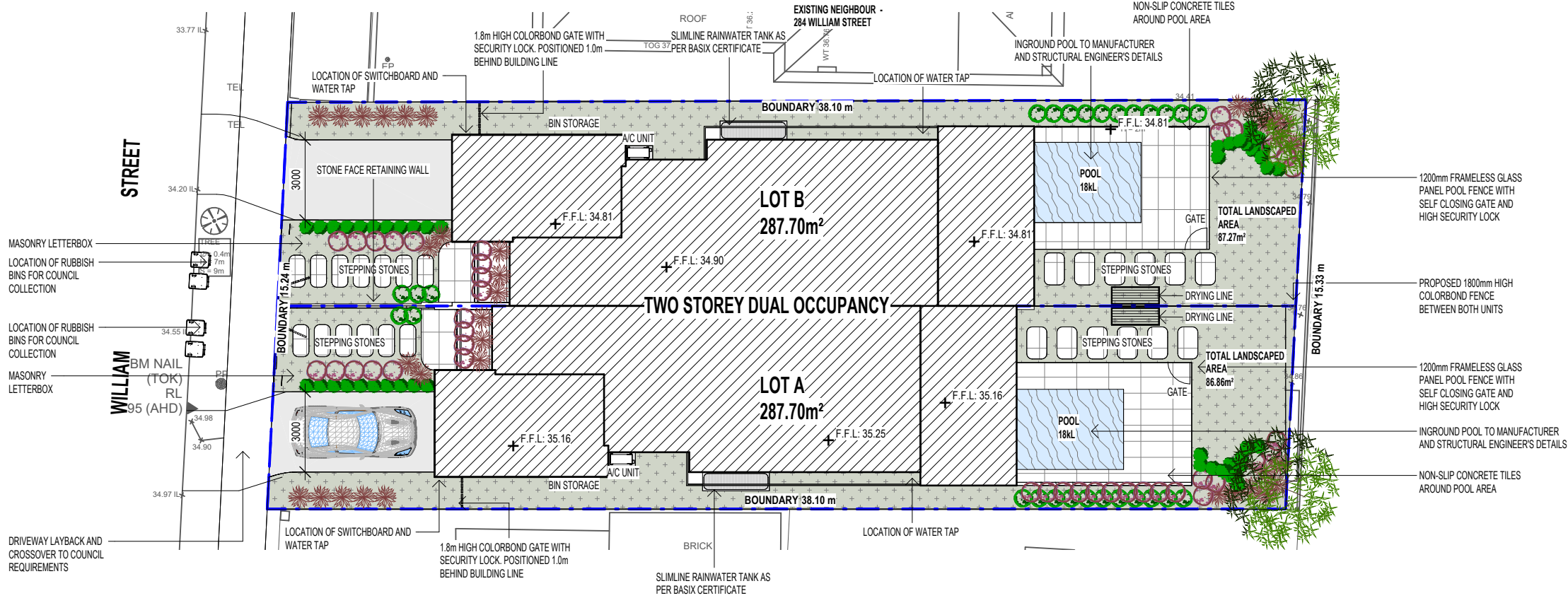
NOTE:

NO TREES OR ROCKS OUTCROPS ON SITE TO BE RETAINED - OBJECTIVE 2.3C-2
AT LEAST 50% OF PLANTS ARE SPECIES NATIVE TO REGION - OBJECTIVE 2.3C-3



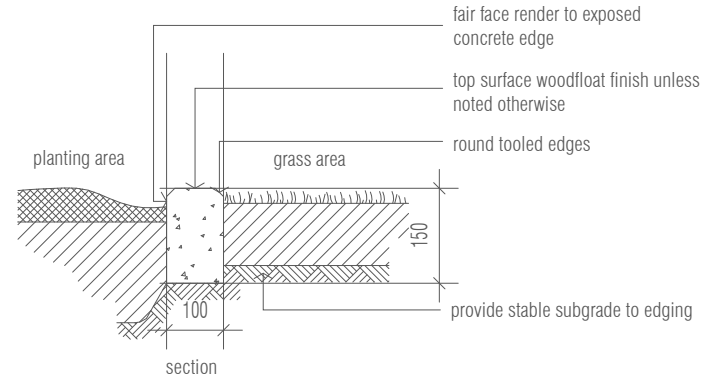
garden mulch bed detail nts

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planting detail (advanced tree) nts

FACADE PLANTS						
CODE		LATIN NAME	COMMON NAME	HEIGHT	SIZE	QTY
		Crassulaceae	Donkey's Tail	800mm	900mm	10
		Liriope Muscari	Bougainvillea White Cascade	600mm	500mm	6



concrete garden edge detail. nts

PLANT SCHEDULE

TREES

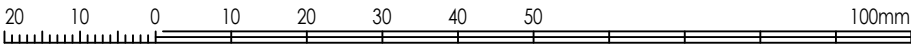
CODE		LATIN NAME	COMMON NAME	HEIGHT	SIZE	SPREAD	QTY
		Jacaranda Mimosifolia	Jacaranda	8m	25L	5m	2

SHRUBS

CODE		LATIN NAME	COMMON NAME	HEIGHT	SIZE	QTY
		Nandina Domestica	Dwarf Nandina	600mm	600mm	47
		Syzygium Australe	Pinnacle	2m	1 - 1.5m	27

GROUND COVERS

CODE		LATIN NAME	COMMON NAME	HEIGHT	SIZE	QTY
		Alternanthera Dentata	Little Ruby	800mm	900mm	42
		Liriope Muscari	Just Right	500mm	500mm	29



DUPLEX

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286 WILLIAM STREET
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LOT 68 DP 22360

PROPOSED LANDSCAPE PLAN

JOB # 020322
DATE: 13.07.22

DRAWN: SP
CHECKED: SP
SCALE: As indicated

ISSUE: C

DWG NO.

A0006

Rev	Description
A	DA ISSUE - TO CLIENT
B	DA ISSUE
1	COORDINATION - STORMWATER
C	DA ISSUE

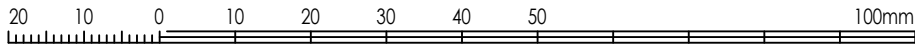
Date
12.06.22
18.06.22
29.06.22
13.07.22



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DUPLEX

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CONCEPT TORRENS TITLE
SUBDIVISION PLAN

JOB # 020322
DATE: 13.07.22

DRAWN: SP

CHECKED: .SP

CC ISSUE

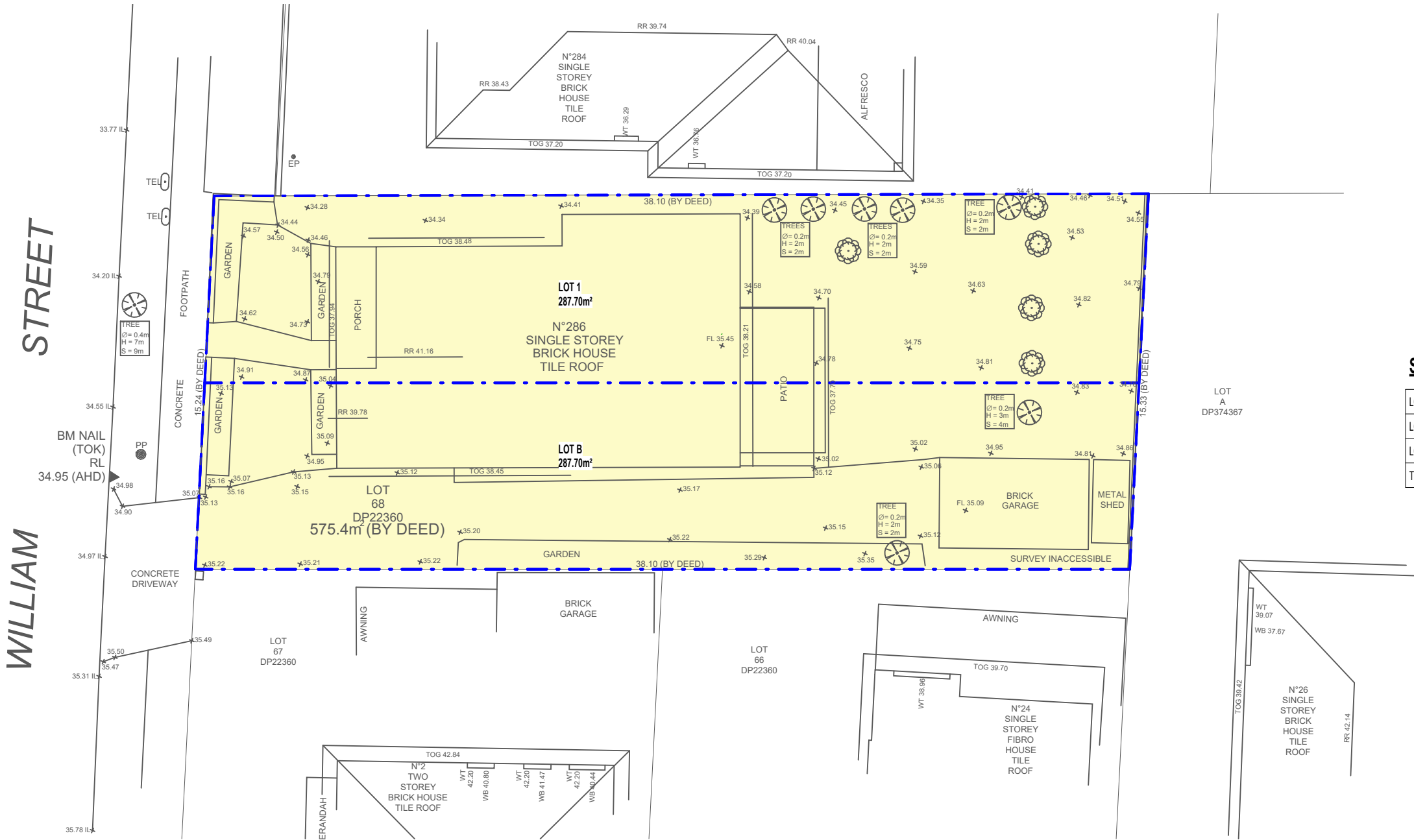
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ISSUE:

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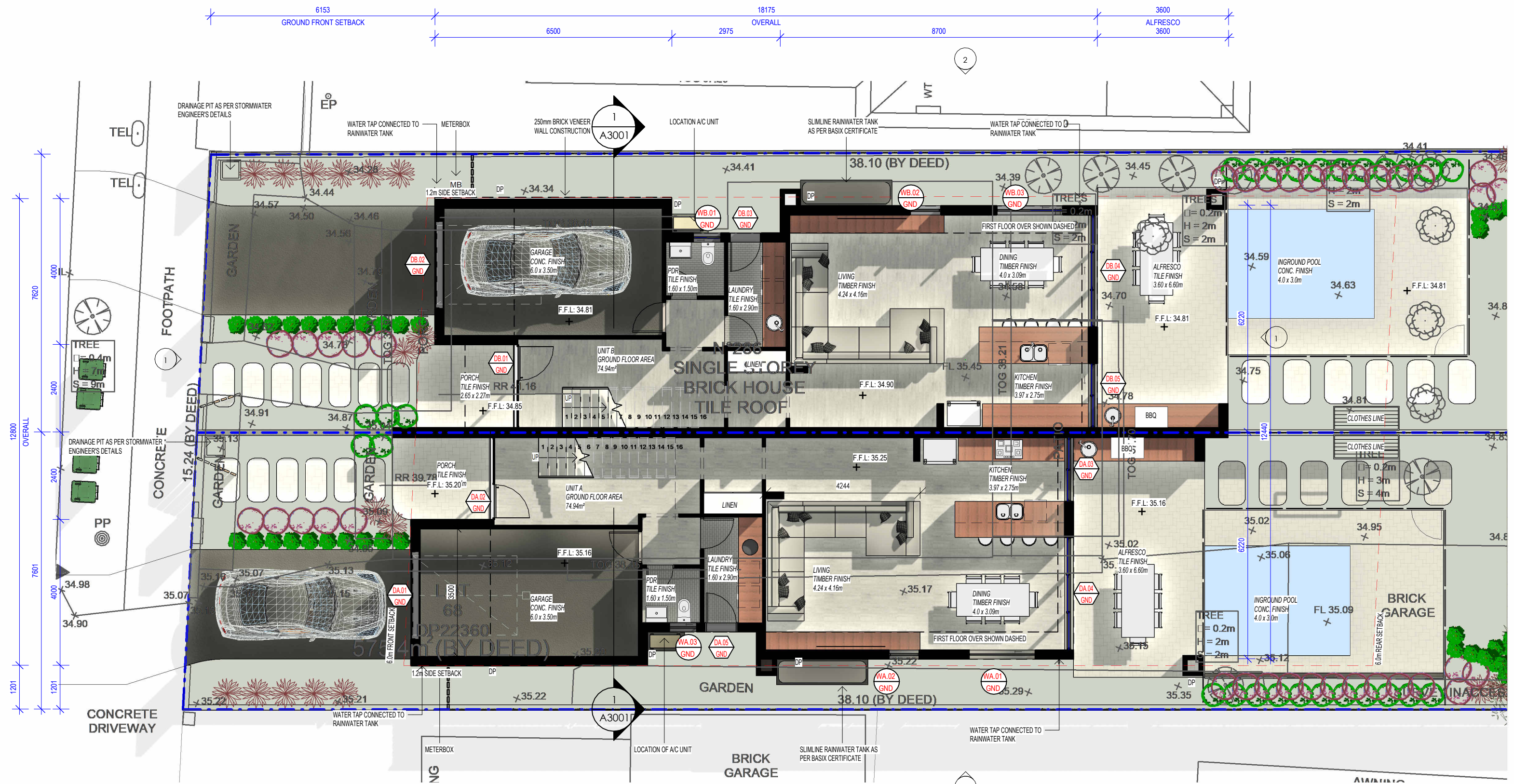
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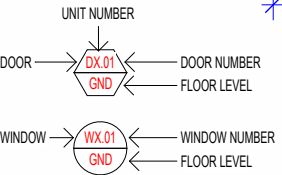


SUBDIVISION TABLE

LOT NUMBER	AREA
LOT 1	287.70m²
LOT 2	287.70m²
TOTAL SITE AREA	575.40m²



DOOR & WINDOW LEGEND:



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JOB # 020322

DATE: 13.07.22

DRAWN: SP

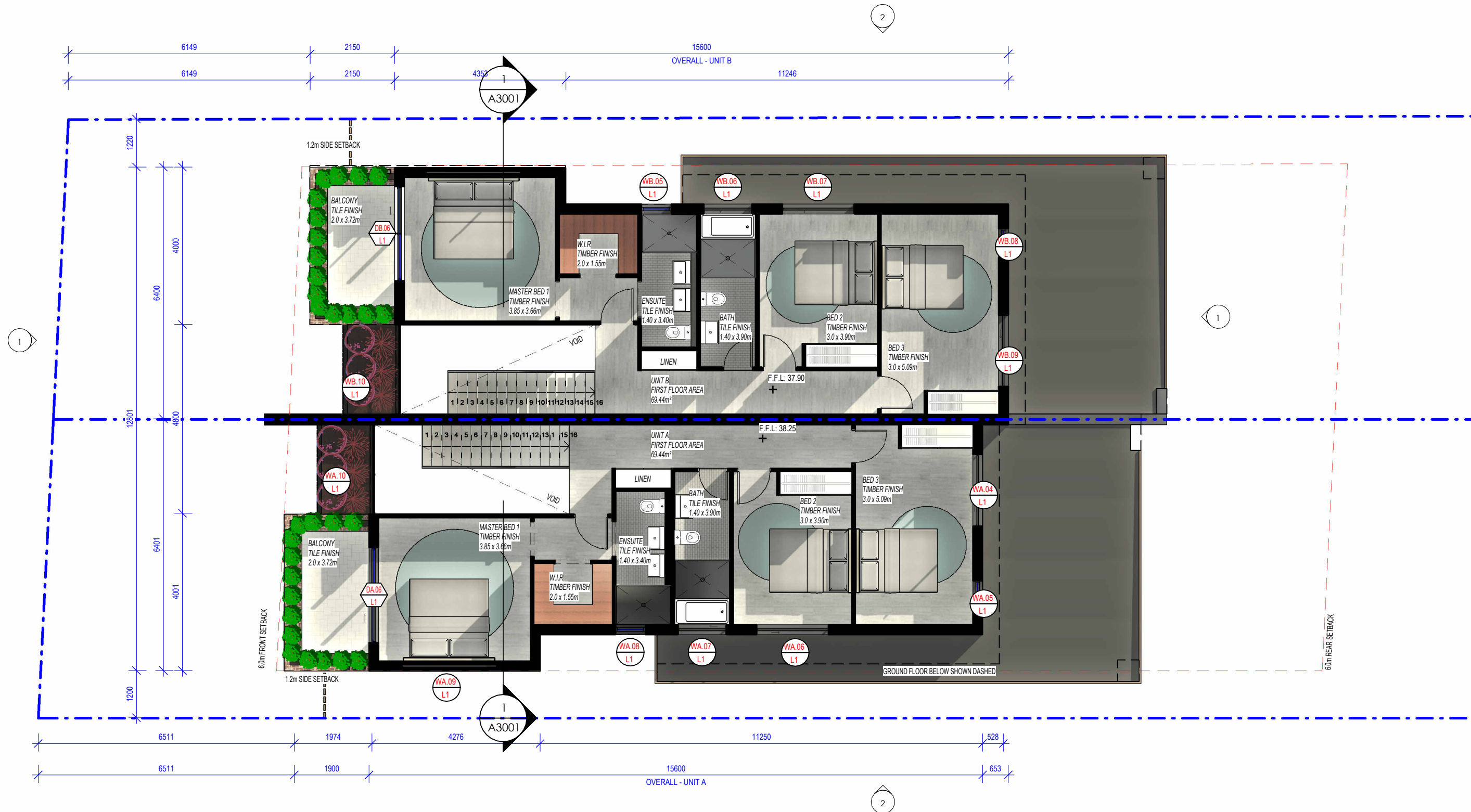
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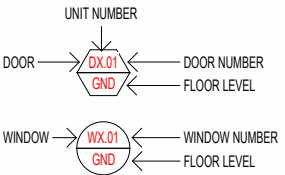
PROPOSED PLAN - GROUND FLOOR

ISSUE: C

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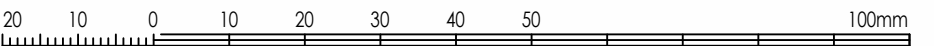
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LOT 68 DP 22360

PROPOSED PLAN - FIRST FLOOR

JOB # 020322

DATE: 13.07.22

DA ISSUE

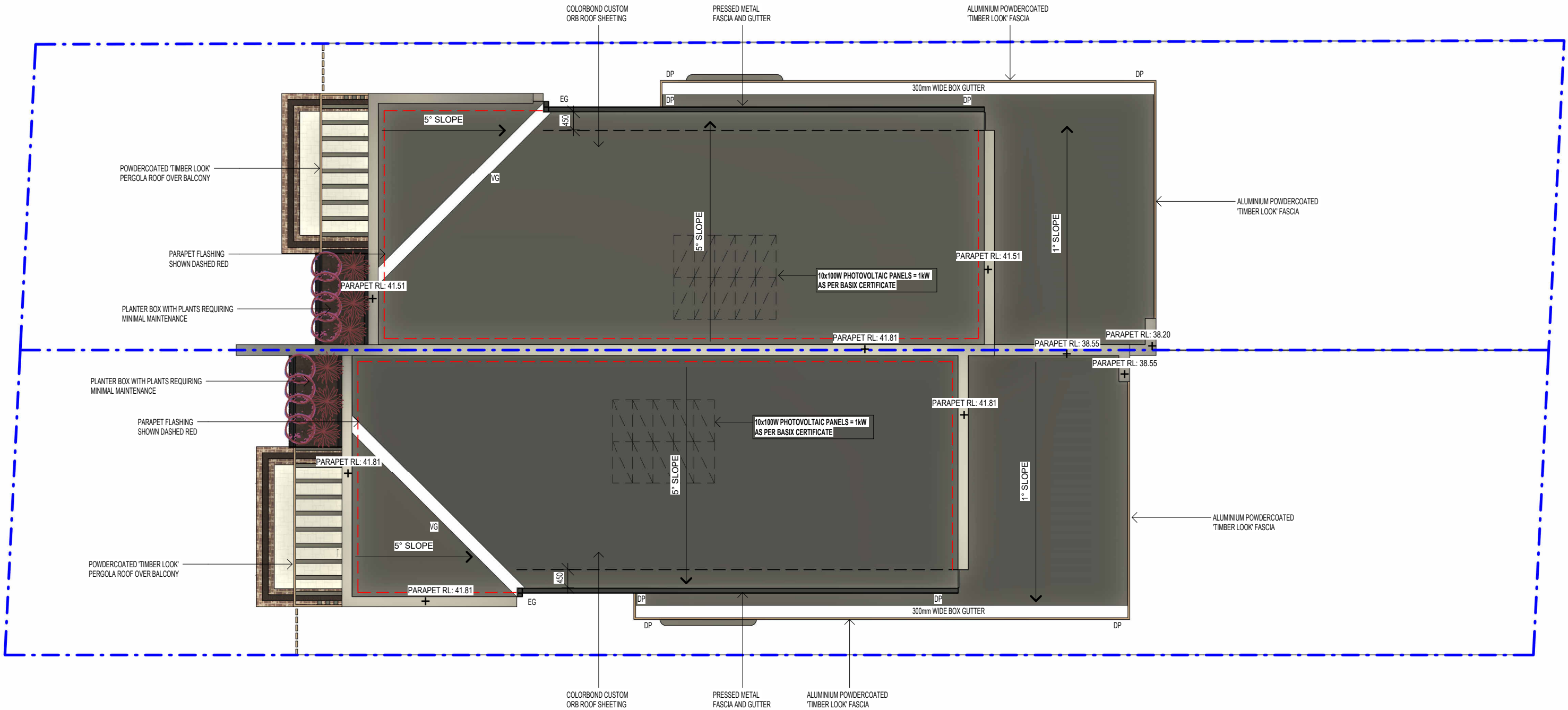
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SCALE: 1 : 100 @A3

ISSUE: C

DWG NO. A1102



ROOFING LEGEND:

EG: PRESSED METAL EAVES GUTTER
VG: PRESSED METAL VALLEY GUTTER
DP: PRESSED METAL / PVC RHS DOWNPIPE

NOTE:
ROOF PITCH OF 5° OR GREATER USE CUSTOM ORB ROOF SHEETING
ROOF PITCH OF 2° TO <5° USE TRIMDECK ROOF SHEETING
ROOF PITCH <2° USE KLIPLOCK ROOF SHEETING

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LOT 68 DP 22360

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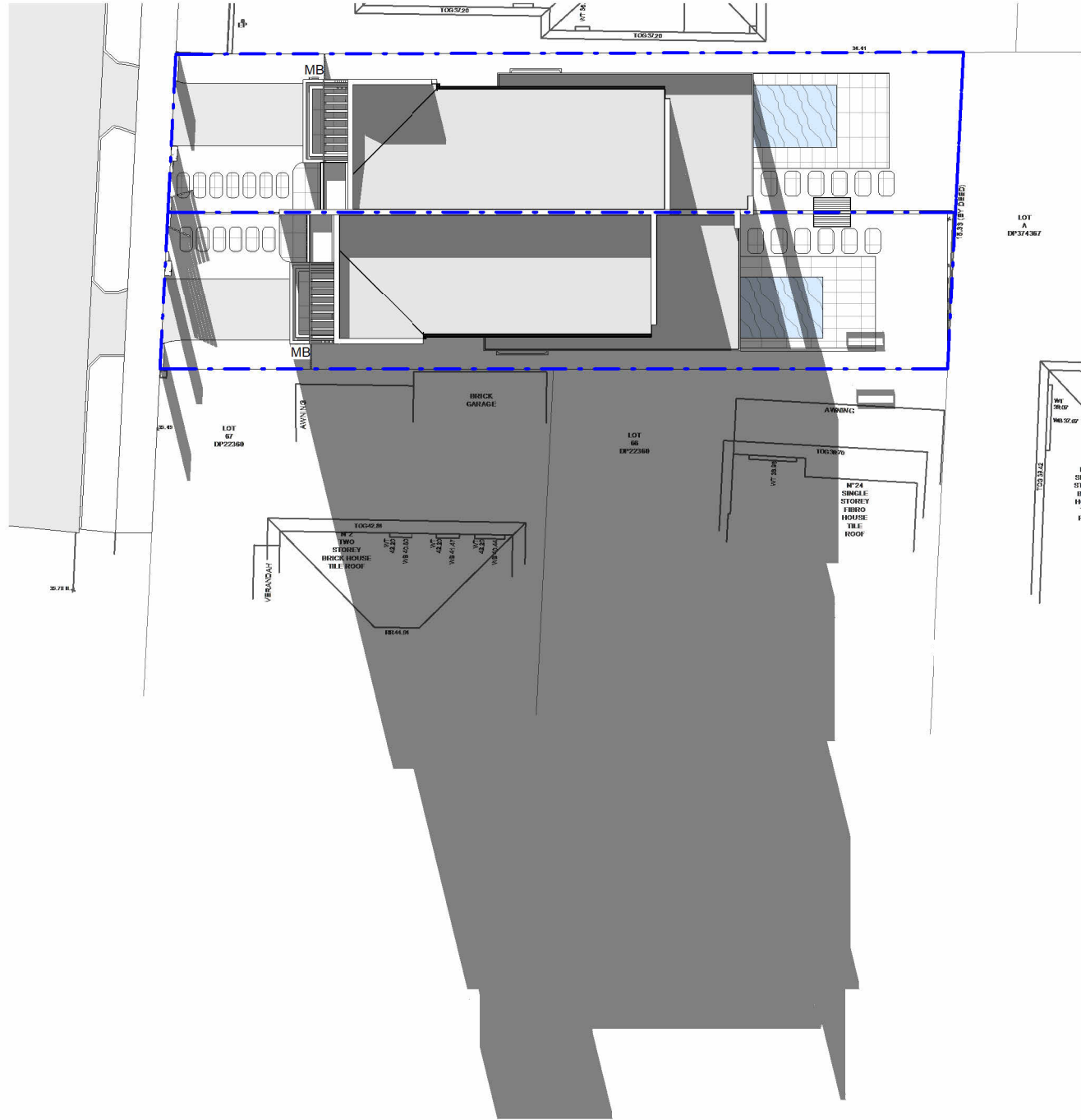
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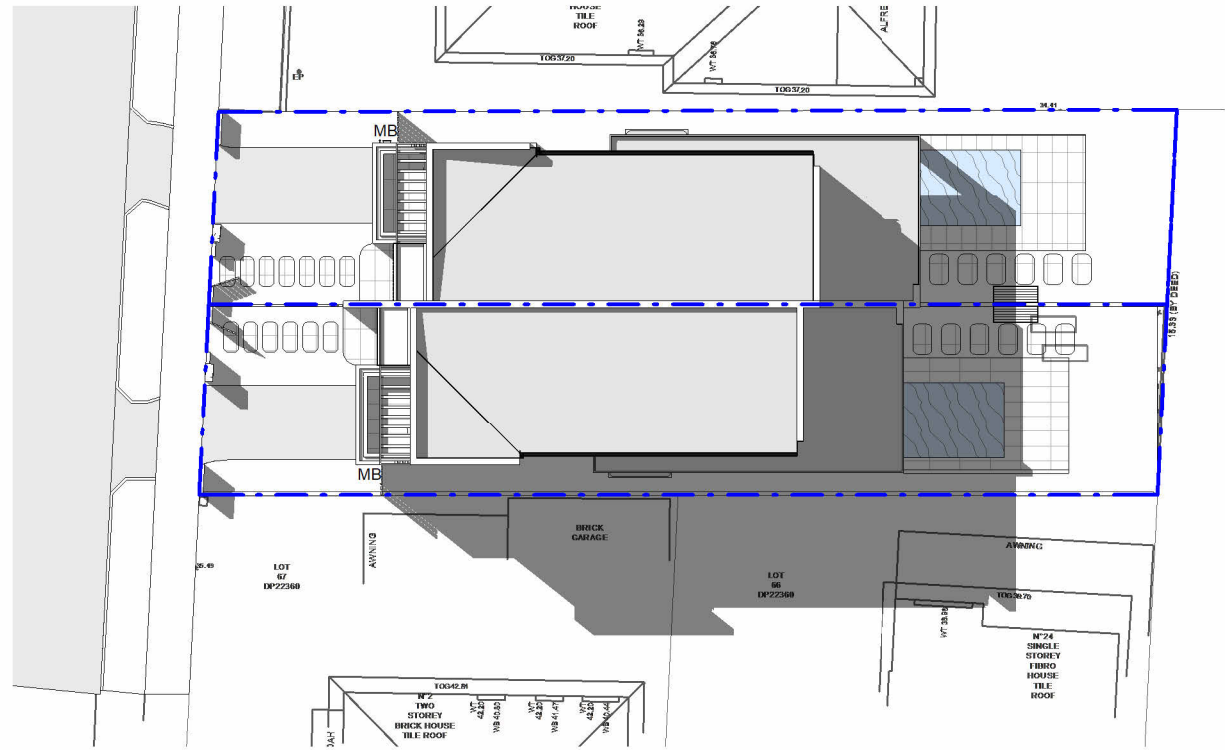
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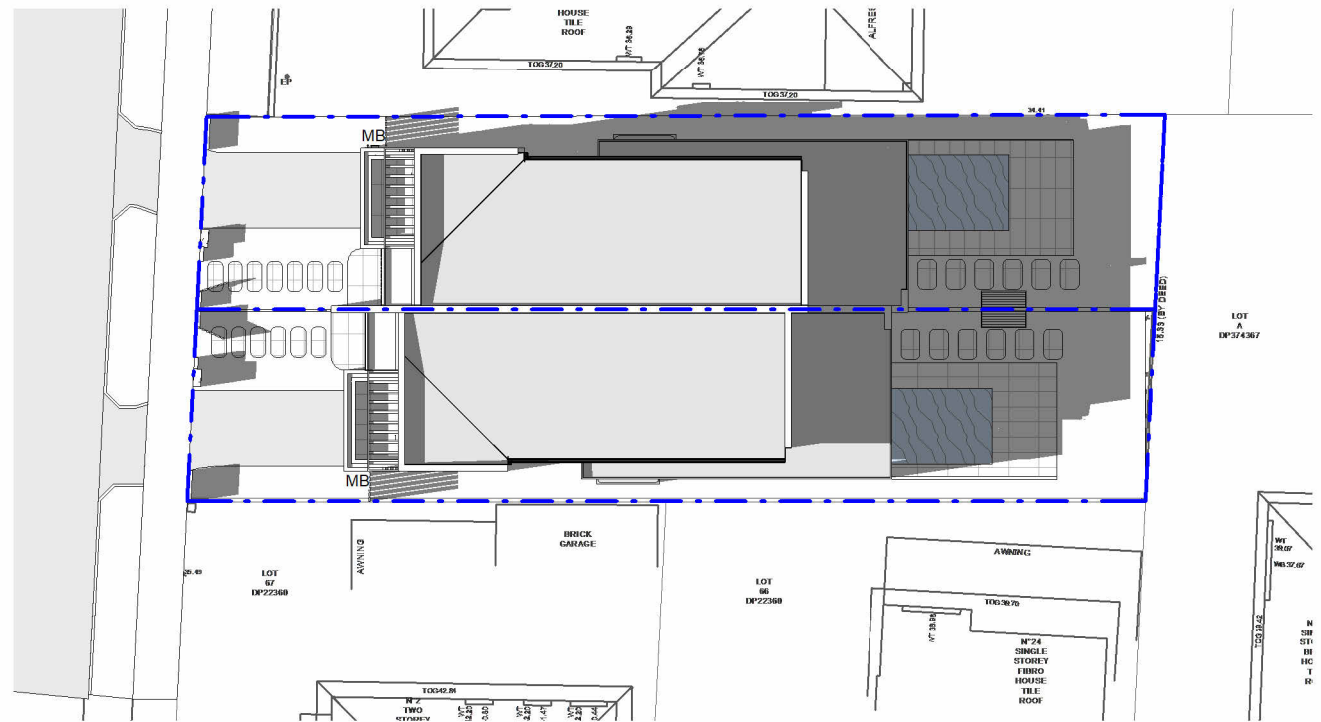
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1 WINTER SOLSTICE - 9am
1 : 300



2 WINTER SOLSTICE - 12pm
1 : 300



3 WINTER SOLSTICE - 3pm
1 : 300

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DA ISSUE

SHADOW DIAGRAMS - WINTER SOLSTICE 21 JUNE

JOB # 020322

DATE: 13.07.22

CLIENT: MR JIM PETRATOS

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KINGSGROVE NSW 2208

LOT 68 DP 22360

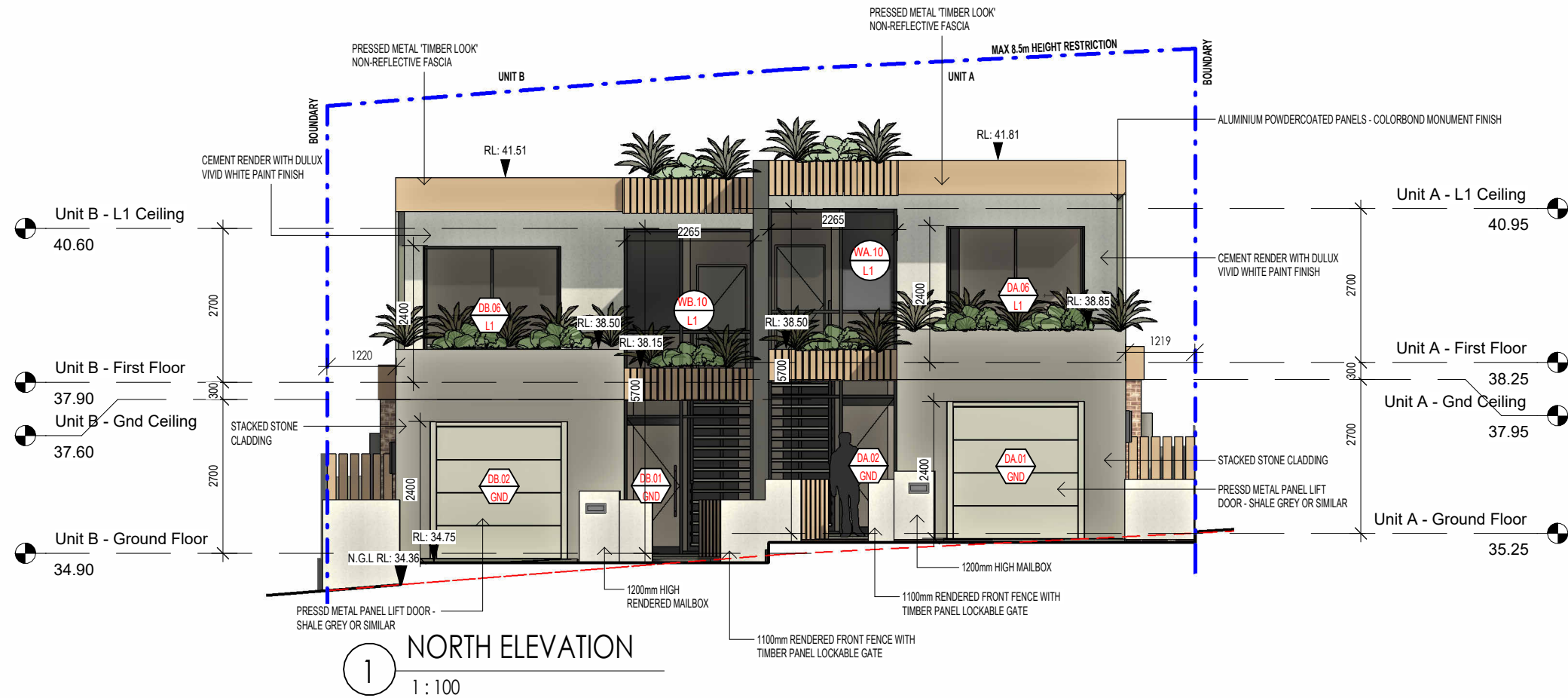
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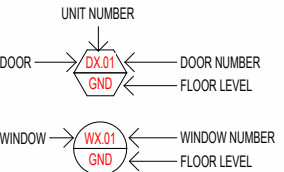
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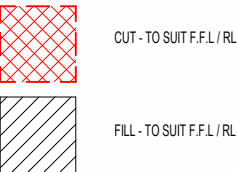
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DOOR & WINDOW LEGEND:

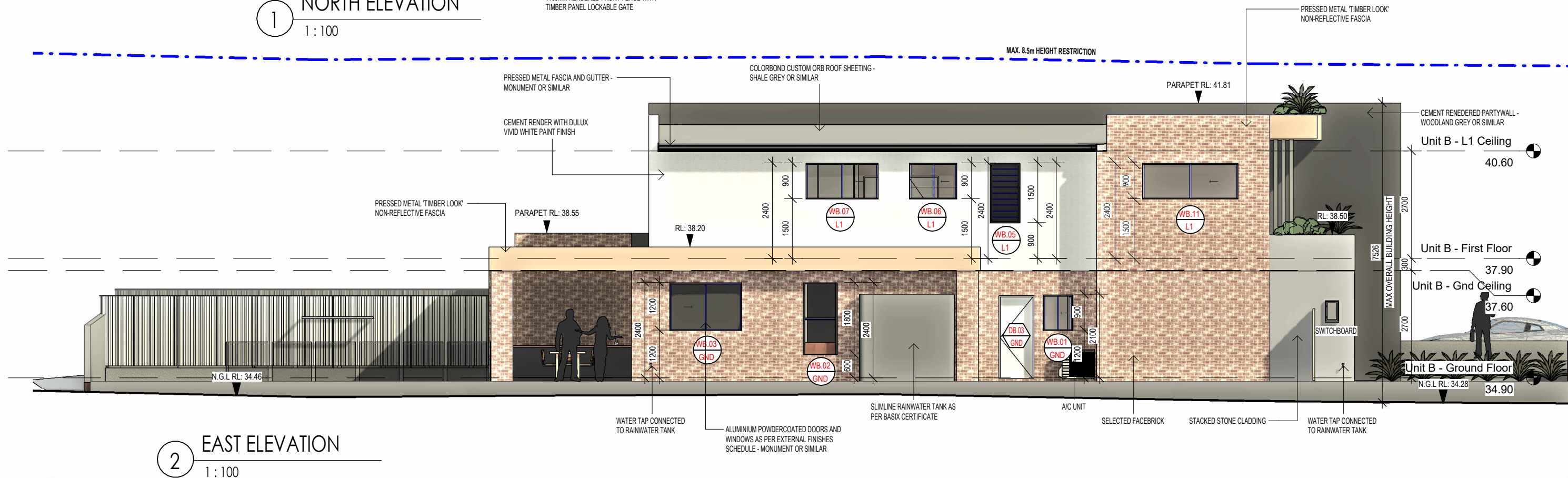


CUT & FILL LEGEND:



SITE NOTE:
BEFORE STARTING WORK ON SITE, BUILDER TO ENSURE TO CHECK/ VERIFY THE FOLLOWING:

- SERVICE LOCATIONS.
- SEWER CONNECTION POSITIONS
- DRIVEWAY ALIGNMENT & LEVELS
- INDICATION DOWNPIPE LOCATION



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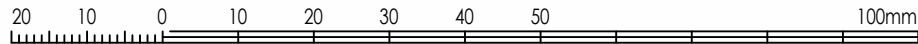
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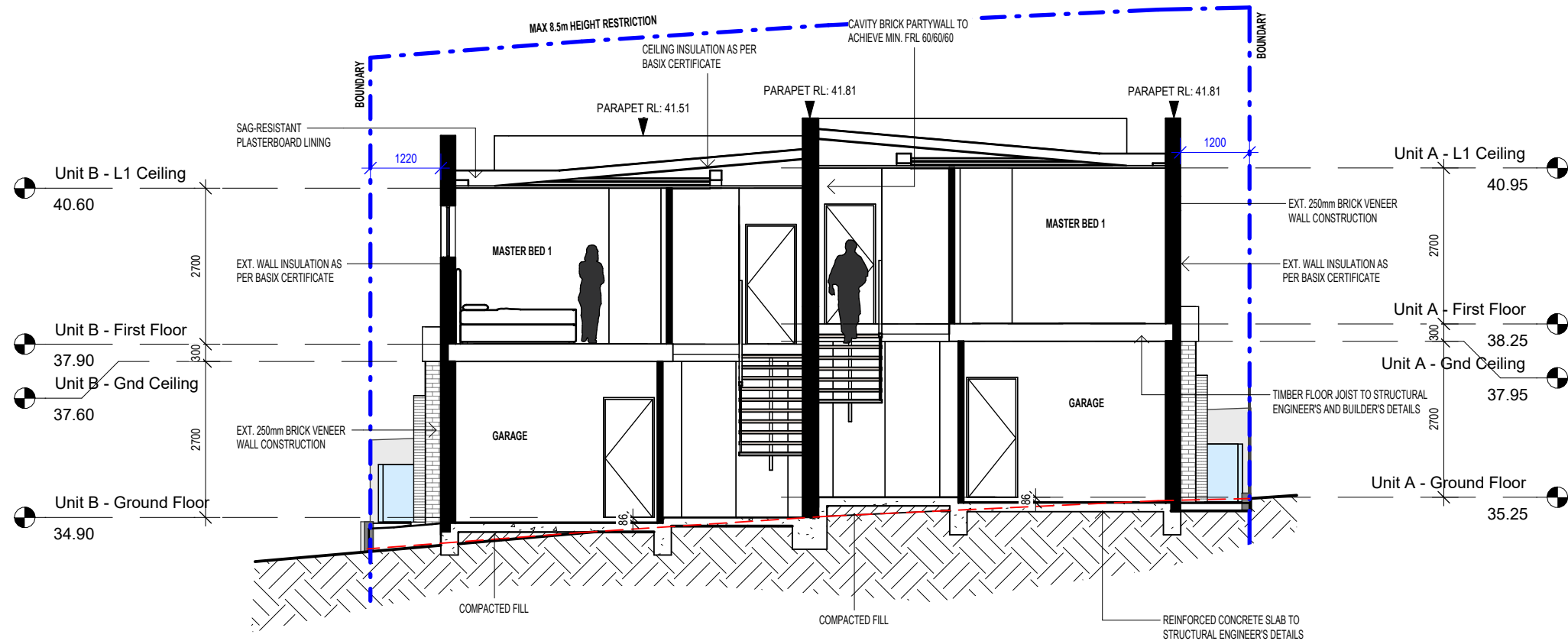
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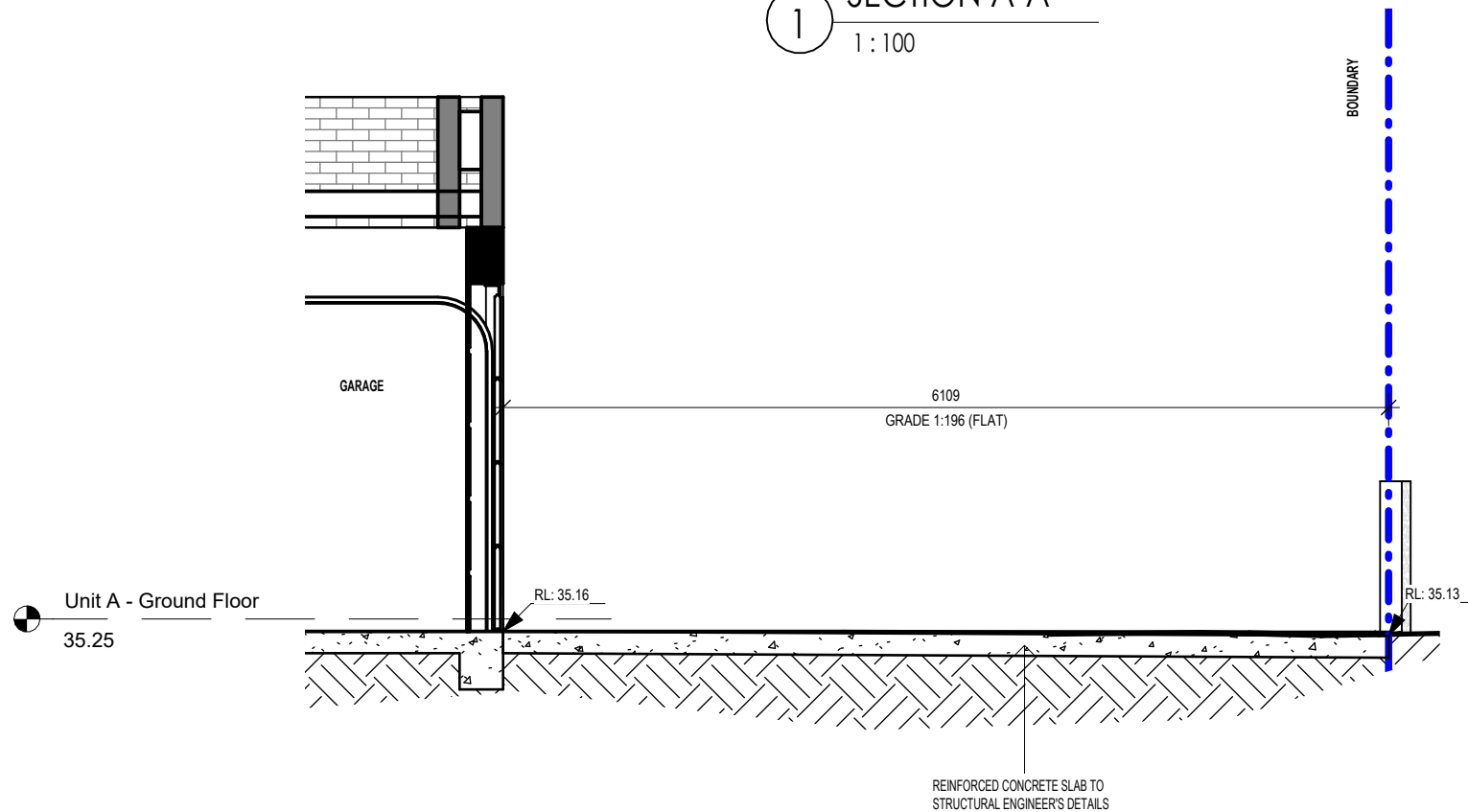
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ISSUE: C

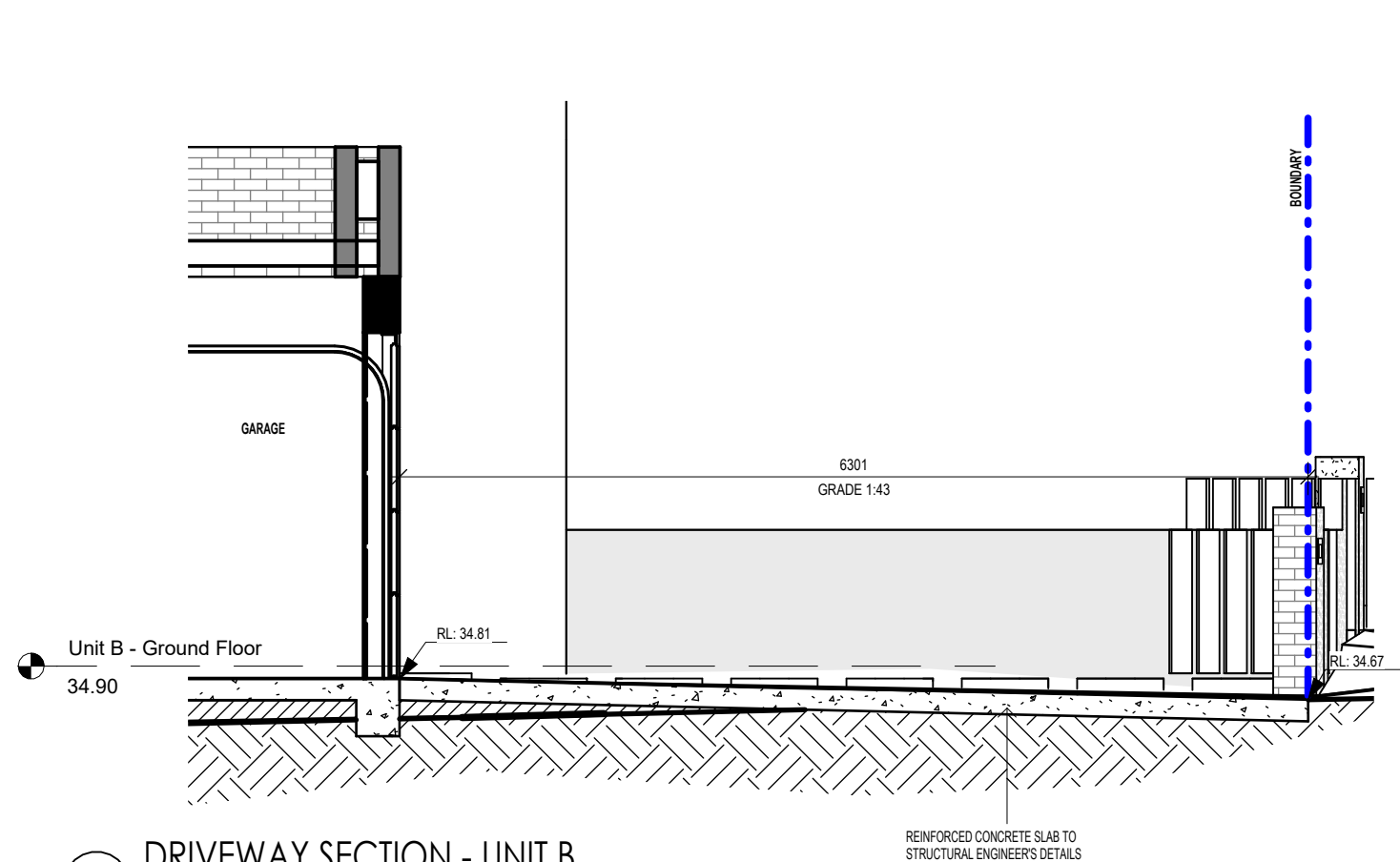
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1 SECTION A-A
1 : 100



2 DRIVEWAY SECTION - UNIT A
1 : 50



3 DRIVEWAY SECTION - UNIT B
1 : 50

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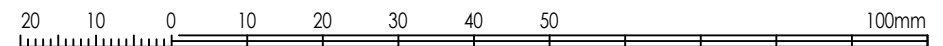
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SECTION A-A & DRIVEWAY SECTION

JOB # 020322
DATE: 13.07.22

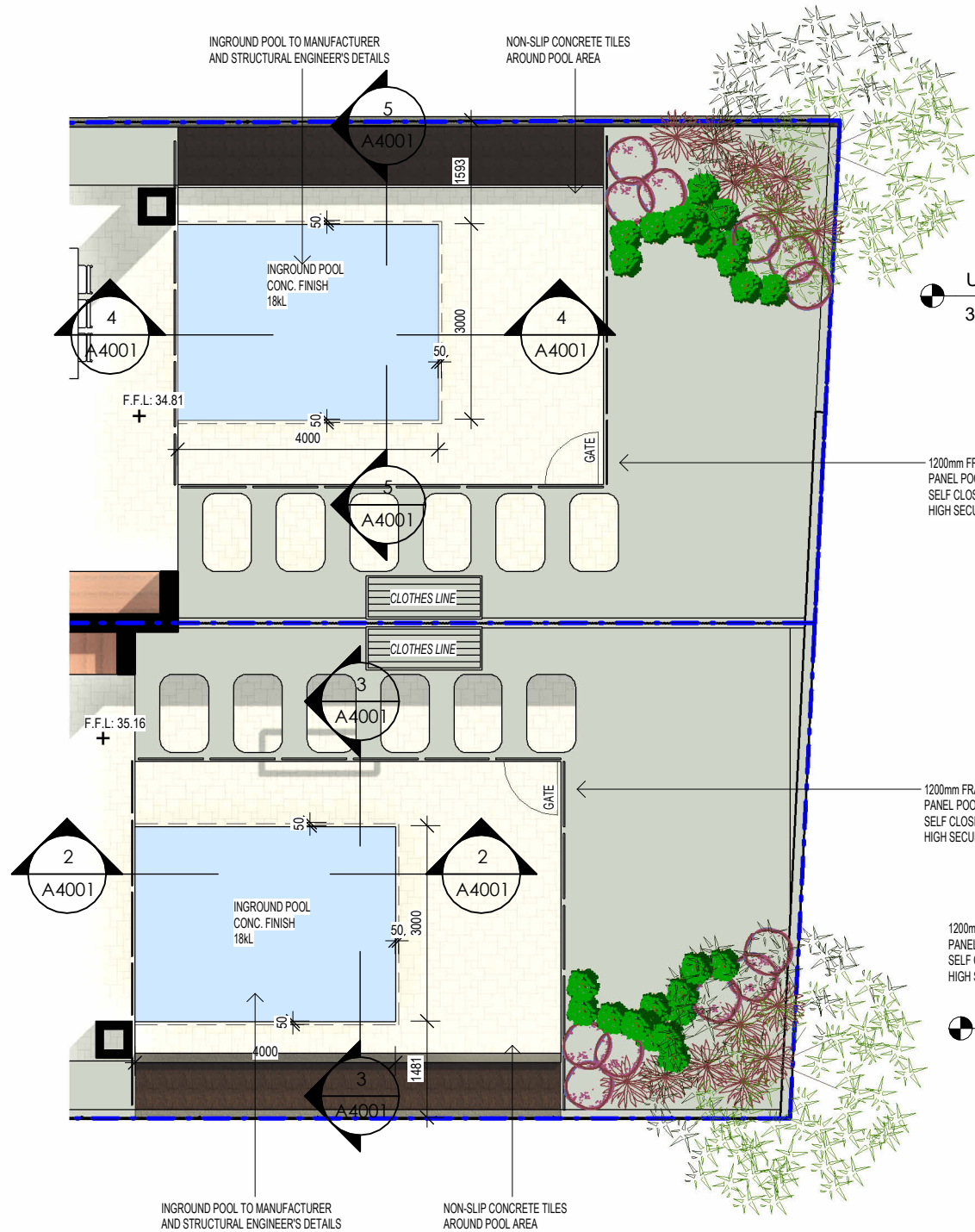
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CHECKED: SP

DA ISSUE SCALE: As indicated

ISSUE: C

DWG NO. A3001



PROPOSED POOL PLAN

1 : 100

SWIMMING POOL NOTES:

- ALL MEASUREMENTS FROM WATER SIDE
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE POOL MANUFACTURER DRAWING AND SPECIFICATIONS
- INSTALLATION OF THE POOL, PLUMBING CONNECTION, THE FOUNDATION MATERIAL AND THE SAFE BEARING CAPACITY ARE TO BE STRICTLY IN ACCORDANCE WITH THE MANUFACTURER INSTRUCTIONS
- ALL WORK TO BE DONE TO THE LOCAL GOVERNMENT AND OTHER AUTHORITY REQUIREMENTS
- ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE RELEVANT CODES AND ORDINANCES
- ALL DIMENSIONS IN MILLIMETRES UNLESS NOTED OTHERWISE
- POOL SAFETY FENCE TO COMPLY WITH AS1926 PART 1 & 2 AND TO BE COUNCIL APPROVED PRIOR TO THE POOL BEING FILLED
- THE PROPOSED POOL TO COMPLY WITH THE SWIMMING POOL ACT AND REGULATIONS
- POOL PUMP AND FILTER TO BE HOUSING IN SOUND PROOF BOX
- ALL POOL WATER RUNOFF AND FILTER BACK WASH TO BE CONSTRUCTED IN ACCORDANCE WITH AS1926-2003 AND SYDNEY WATER REQUIREMENTS

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Rev	Description	Date
1	FOR CONSULTANT FEE PROPOSAL	1.05.22
2	ISSUED TO BASIX CONSULTANT	24.05.22
A	DA ISSUE - TO CLIENT	12.06.22
B	DA ISSUE	18.06.22
3	COORDINATION - STORMWATER	29.06.22
C	DA ISSUE	13.07.22

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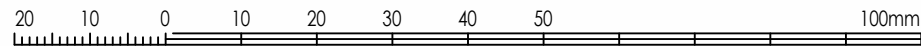
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POOL PLAN

JOB # 020322
DATE: 13.07.22

DRAWN: SP
CHECKED: SP

DA ISSUE SCALE: As indicated

ISSUE: C

DWG NO. A4001



STREET PERSPECTIVE

REAR PERSPECTIVE



CEMENT RENDER - DULUX
WOODLAND GREY OR SIMILAR

ALUMINIUM POWDERCOATED
BATTEN - COLORBOND WOODLAND
GREY OR SIMILAR

ALUMINIUM POWDERCOATED
FRAMES - MONUMENT OR SIMILAR

STACKED STONE CLADDING -
ARMSTONE - BENJAMIN OR SIMILAR

CEMENT RENDER - DULUX VIVID
WHITE OR SIMILAR

B&D PANEL LIFT DOOR - COLORBOND
SHALE GREY OR SIMILAR

TIMBER VERTICAL PANEL GATE -
WESTERN RED CEDAR OR SIMILAR

BRICK MAILBOX - CEMENT RENDER -
DULUX VIVID WHITE OR SIMILAR

FACEBRICK - PGH BRICKS -
MANHATTEN - BROOKLYN OR SIMILAR

1200mm HIGH FRAMELESS GLASS
FENCE

EXTERNAL CONCRETE TILES -
LIGHT GREY OR SIMILAR

CEMENT RENDER - DULUX
VIVID WHITE OR SIMILAR

INNOWOOD CLADDING - WESTERN
RED CEDAR OR SIMILAR

FACEBRICK - PGH BRICKS -
MANHATTEN - BROOKLYN OR SIMILAR

INNOWOOD CLADDING - WESTER
RED CEDEAR WITH WOODLAND
GREY BEHIND OR SIMILAR

EXTERNAL CONCRETE TILES -
LIGHT GREY OR SIMILAR

1200mm HIGH FRAMELESS
GLASS FENCE

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EXTERNAL FINISHES SCHEDULE

JOB # 020322
DATE: 13.07.22
DA ISSUE
DRAWN: SP
CHECKED: SP
SCALE: 1 : 100 @A3

ISSUE: C
DWG NO. A7001



1 STREET PERSPECTIVE



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Rev	Description	Date
1	CONCEPT ISSUE - FACADE	28.04.22
2	FOR CONSULTANT FEE PROPOSAL	1.05.22
3	ISSUED TO BASIX CONSULTANT	24.05.22
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B	DA ISSUE	18.06.22
4	COORDINATION - STORMWATER	29.06.22
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PERSPECTIVES 01

JOB # 020322
DATE: 13.07.22
DA ISSUE

DRAWN: SP
CHECKED: SP
SCALE: @A3

ISSUE: C
DWG NO. A7002



1 REAR PERSPECTIVE



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PERSPECTIVES 02

JOB # **020322**
DATE: 13.07.22

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SCALE: @A3
DA ISSUE

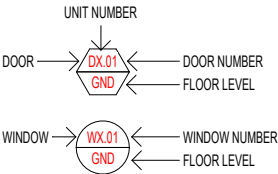
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DWG NO.

A7003

DOOR & WINDOW LEGEND:



BASIX COMMITMENTS:

BASIX CERTIFICATE # 1303259M

WATER REQUIREMENTS	THERMAL COMFORT REQUIREMENTS	ENERGY REQUIREMENTS
ALL SHOWERHEADS - 4 STAR (>4.5 BUT <=6L/MIN) ALL TOILET FLUSHING SYSTEMS - 4 STARS ALL KITCHEN TAPS - 4 STARS POOL COVER - YES RAINWATER TANK CAPACITY - MINIMUM 3,000 LITRES RUN-OFF COLLECTION - 150m² OF ROOF AREA CONNECT TO ALL GARDEN TAPS, TOILETS, LAUNDRY AND POOL (TOP-UP)	CONCRETE SLAB ON GROUND - N/A TIMBER FIRST FLOOR OVER GARAGE - R2.5 INSULATION EXTERNAL WALL - BRICK VENEER - R2.5 INSULATION + 1 BREATHABLE WRAP INTERNAL PARTY WALL - CAVITY BRICK - N/A INTERNAL WALL BETWEEN GARAGE & DWELLING - R2.5 INSULATION ROOF - COLORBOND - R5.0 INSULATION PLUS 1 SINGLE SIDED FOIL GLAZING - ALUMINIUM FRAME - SINGLE CLEAR U-VALUE: 5.40 SHGC: 0.58	HOT WATER SYSTEM - GAS INSTANTANEOUS - 5 STAR BATHROOM & KITCHEN - INDIVIDUAL FAN DUCTED TO FACADE OR ROOF MANUAL ON / OFF SWITCH LAUNDRY - NATURAL VENTILATIONV ONLY AIR CONDITIONING - 3 PHASE MINIMUM RATING: EER 3.5 - 4.0 - ZONED POOL HEATING SYSTEM - SOLAR ONLY TIMBER - YES KITCHEN APPLIANCE - HAS COOKTOP WITH ELECTRIC OVEN FRIDGE - TO BE WELL VENTILATED CLOTHES DRYING LINE - PRIVATE OUTDOOR LINE PHOTOVOLTAIC SYSTEM - 1.0 KW REQUIRED MINIMUM

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DOOR & WINDOW SCHEDULE

JOB # 020322
DATE: 13.07.22
DA ISSUE
DRAWN: SP
CHECKED: SP
SCALE: 1 : 100 @A3

ISSUE:

C

DWG NO.

A9001

DOOR SCHEDULE							
MARK	LEVEL	LOCATION	HEIGHT	WIDTH	FRAME	DOOR TYPE	ADDITIONAL INFO
Unit B - Ground Floor							
DB.01	Unit B - Ground Floor	ENTRY	2375	925	ALUMINIUM	SWING	
DB.02	Unit B - Ground Floor	GARAGE	2310	2170	STEEL	PANEL LIFT	
DB.03	Unit B - Ground Floor	LAUNDRY	2040	820	TIMBER	SWING	
DB.04	Unit B - Ground Floor	DINING	2400	3085	ALUMINIUM	SLIDING	
DB.05	Unit B - Ground Floor	KITCHEN	2400	1750	ALUMINIUM	SLIDING	
Unit A - Ground Floor							
DA.01	Unit A - Ground Floor	GARAGE	2310	2170	STEEL	PANEL LIFT	
DA.02	Unit A - Ground Floor	ENTRY	2375	925	ALUMINIUM	SWING	
DA.03	Unit A - Ground Floor	KITCHEN	2400	1750	ALUMINIUM	SLIDING	
DA.04	Unit A - Ground Floor	DINING	2400	3085	ALUMINIUM	SLIDING	
DA.05	Unit A - Ground Floor	LAUNDRY	2040	820	TIMBER	SWING	
Unit B - First Floor							
DB.06	Unit B - First Floor	MASTER BED 1	2400	2410	ALUMINIUM	SLIDING	
Unit A - First Floor							
DA.06	Unit A - First Floor	MASTER BED 1	2400	2410	ALUMINIUM	SLIDING	

WINDOW SCHEDULE							
MARK	LEVEL	LOCATION	HEIGHT	WIDTH	FRAME	WINDOW TYPE	ADDITIONAL INFO
Unit B - Ground Floor							
WB.01	Unit B - Ground Floor	POWDER	900	750	ALUMINIUM	SLIDING	OBSURE GLAZING
WB.02	Unit B - Ground Floor	LIVING	1800	850	ALUMINIUM	DOUBLE HUNG	
WB.03	Unit B - Ground Floor	DINING	1200	1810	ALUMINIUM	SLIDING	
WB.10	Unit B - Ground Floor	STAIR VOID	REFER TO ELEVATION	REFER TO ELEVATION	ALUMINIUM	FIXED	
Unit A - Ground Floor							
WA.01	Unit A - Ground Floor	DINING	1200	1810	ALUMINIUM	SLIDING	
WA.02	Unit A - Ground Floor	LIVING	1800	850	ALUMINIUM	DOUBLE HUNG	
WA.03	Unit A - Ground Floor	POWDER	900	750	ALUMINIUM	SLIDING	OBSURE GLAZING
WA.10	Unit A - Ground Floor	STAIR VOID	REFER TO ELEVATION	REFER TO ELEVATION	ALUMINIUM	FIXED	
Unit B - First Floor							
WB.05	Unit B - First Floor	ENSUITE	1500		ALUMINIUM	AWNING	OBSURE GLAZING
WB.06	Unit B - First Floor	BATHROOM	900	1210	ALUMINIUM	SLIDING	OBSURE GLAZING
WB.07	Unit B - First Floor	BED 2	900	1810	ALUMINIUM	SLIDING	
WB.08	Unit B - First Floor	BED 3	1500		ALUMINIUM	AWNING	
WB.09	Unit B - First Floor	BED 3	900	1810	ALUMINIUM	SLIDING	
WB.11	Unit B - First Floor	MASTER BED 1	900	2410	ALUMINIUM	SLIDING	
Unit A - First Floor							
WA.04	Unit A - First Floor	BED 3	900	1810	ALUMINIUM	SLIDING	
WA.05	Unit A - First Floor	BED 3	1500		ALUMINIUM	AWNING	OBSURE GLAZING
WA.06	Unit A - First Floor	BED 2	900	1810	ALUMINIUM	SLIDING	
WA.07	Unit A - First Floor	BATHROOM	900	1210	ALUMINIUM	SLIDING	OBSURE GLAZING
WA.08	Unit A - First Floor	ENSUITE	1500		ALUMINIUM	AWNING	OBSURE GLAZING
WA.09	Unit A - First Floor	MASTER BED 1	900	2410	ALUMINIUM	SLIDING	